PROJECT TEAM:

DEVELOPER/APPLICANT

KUM & GO, L.C. 1459 GRAND AVENUE DES MOINES, IA 50309 TEL: (515) 457-6232 ATTN: RYAN HALDER

LANDSCAPE ARCHITECT

GALLOWAY & COMPANY 6162 S. WILLOW DRIVE, SUITE 320 GREENWOOD VILLAGE, CO 80111 TEL: (303) 770-8884

CIVIL ENGINEER

ATTN: TROY NOSER, RLA, CID

GALLOWAY & COMPANY 172 N EAST PROMONTORY, SUITE 274 FARMINGTON, UT 84025 TEL: (801) 953–1357 ATTN: DOUG STAKER, PE ATTN: CHRISTIAN MICHAELSON, PE

SURVEYOR

GALLOWAY & COMPANY 172 N EAST PROMONTORY, SUITE 274 FARMINGTON, UT 84025 TEL: (801) 953-1357 ATTN: JERRON ATKIN, PLS

GEOTECHNICAL ENGINEER

GSH GEOTECHNICAL, INC. 473 WEST 4800 SOUTH SALT LAKE CITY, UT 84123 TEL: (801) 685-9190

POWER

ROCKY MOUNTAIN POWER TEL: +1 (800) 469-3981

WATER

SALT LAKE CITY PUBLIC UTILITIES 1530 SOUTH WEST TEMPLE SALT LAKE CITY, UT 84115 ATTN: CAMERON SCHARRER EMAIL: CAMERON.SCHARRER@SLC.GOV TEL: (801) 483-6900

SANITARY SEWER

SOUTH VALLEY SEWER DISTRICT 1253 JORDAN BASIN LANE BLUFFDALE, UT 84065 ATTN: MIKE FOERSTER EMAIL: MIKEF@SVSEWER.COM TEL: (801) 576-6326

GAS DOMINION ENERGY

TEL: (801) 324-5111 STORMWATER MANAGEMENT

SALT LAKE CITY PUBLIC UTILITIES 1530 SOUTH WEST TEMPLE SALT LAKE CITY, UT 84115 ATTN: CAMERON SCHARRER EMAIL: CAMERON.SCHARRER@SLC.GOV TEL: (801) 483-6900

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CENTURYLINK ATTN: KEN ROMERO, EVOLVE NETWORX EMAIL: KEN@EVOLVENETWORX.COM TEL: (801) 520-9999

BRANDON MICHAELIS 801-974-8143 BRANDON.MICHAELIS@LUMEN.COM

PLANNING

SALT LAKE CITY PLANNING DIVISION 451 S STATE STREET SALT LAKE CITY, UT 84111 ATTN: DANIEL ÉCHEVERRIA EMAIL: DANIEL.ECHEVERRIA@SLCGOV.COM TEL: (385) 226-3835 TEL: (801) 535–7703 (GENERAL INQUIRIES)

ENGINEERING DEPARTMENT

SALT LAKE CITY ENGINEERING 349 SOUTH 200 EAST, SUITE 600 SALT LAKE CITY, UT 84111 ATTN: MATT CASSEL TEL: (801) 535-6140 EMAIL: MATTHEW.CASSEL@SLCGOV.COM

BUILDING DEPARTMENT

SALT LAKE CITY BUILDING SERVICES 451 SOUTH STATE STREET, ROOM 215 SALT LAKE CITY, UT 84111 ATTN: KEN ANDERSON TEL: (801) 535–7968 (GENERAL INQUIRIES) TEL: (801) 535-6624 (KEN ANDERSON)

FIRE DEPARTMENT

SALT LAKE CITY FIRE DEPARTMENT 475 S 300 E PO BOX 145520 SALT LAKE CITY, UT 84111 TEL: (801) 799-3473 TEL: (833) 752-3473 (ROUTINE INQUIRIES)





CURRENT: C-B (COMN MINIMUM LOT AREA MINIMUM LOT WIDTH SITE AREA PER UNIT FRONT YARD SETBACK LEFT SIDE YARD SETB RIGHT SIDE YARD SET REAR YARD SETBACK PARKING SETBACK MAXIMUM BUILDING HE MAXIMUM BUILDING CO MAXIMUM IMPERVIOUS FLOOR AREA RATIO DRAINAGE BASIN

BENCHMARK BENCHMARK: STREET MONUMENT AT 2100 SOUTH AND DOUGLAS AVENUE. NAVD88 ELEVATION = 4401.32'

BASIS OF BEARING

LL BEARINGS ARE GRID BEARINGS OF THE UTAH STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE MONUMENTED CENTERLINE OF 2100 SOUTH STREET BEARS S 89'58'51" E MONUMENTED AS SHOWN HEREON.

LEGAL DESCRIPTION A PART OF BLOCK 46, 10-ACRE PLAT "A", BIG FIELD SURVEY, SALT LAKE CITY, UTAH, FURTHER

DESCRIBED AS FOLLOWS:

BEGINING AT A POINT ON THE EAST RIGHT OF WAY LINE OF 1300 EAST STREET WHICH IS 66.00 FEET EAST AND 264.00 FEET SOUTH AND 45.05 FEET NORTH 8415'00" EAST FROM THE NORTHEAST CORNER OF LOT 10 OF SAID BLOCK 46; RUNNING THENCE NORTH 0'01'00" WEST 235.41 FEET ALONG SAID EAST RIGHT OF WAY TO THE SOUTH RIGHT OF WAY LINE OF 2100 SOUTH STREET; THENCE ALONG SAID SOUTH RIGHT OF WAY LINE (4) FOUR COURSES AS FOLLOWS: NORTH 89'51'00" EAST 33.31 FEET TO A POINT OF CURVATURE, EASTERLY ALONG THE ARC OF A 766.20 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 51.16 FEET (CENTRAL ANGLE EQUALS 3'49'33" AND LONG CHORD BEARS NORTH 87'56'14" EAST 51.15 FEET), NORTH 2.84 FEET AND EAST 66.58 FEET TO A POINT ON THE EAST SECTION LINE OF SECTION 20, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SLB&M; THENCE SOUTH 013'44" WEST 225.07 FEET ALONG SAID SECTION LINE; THENCE SOUTH 8415'00" WEST 150.80 FEET TO THE POINT OF BEGINNING.

CONTAINS: 34,648 SQ. FT. OR 0.795 ACRES

FEMA FLOOD ZONE PER FIRMETTE 49035C0301H, EFFECTIVE 11/19/2021;

0.2% ANNUAL CHANCE FLOODPLAIN

THIS PROPERTY RESIDES IN FEMA FLOOD ZONE X - AREAS DETERMINED TO BE OUTSIDE THE

WHERE & MEANS MORE!





ZONING INFORMA	TION
MMUNITY BUSINESS)	
	N/A
	N/A
ſ	N/A
CK - WEST	-
IBACK – NORTH	-
TBACK – SOUTH	-
K – EAST	10 FEET
	20 FEET
HEIGHT	30 FEET
COVERAGE	N/A
S COVERAGE	N/A
	N/A
	ON-SITE

SITE DATA		
STORE TYPE		BISTRO V1
TAX SCHE	DULE NUMBER	33012520070000 & 33012520080000
CONCEPT PL	AN FILE NUMBER	CPC CP XX-XXXXX-XX XXXX
CANOPY / DISPE	NSER ARRANGEMENT	3 DISPENSERS (SINGLE)
TYPE	OF USE	CONVENIENCE STORE WITH FUEL
	BUILDING	18'-00"
BUILDING HEIGHT	PARAPET	21'-0"
	BLADE	22'-6"
CANOPY HEIGHT		17'-6"
GROSS FLOOR AREA		4,745 S.F.
GROSS CANOPY AREA		1,920 S.F.
GROSS LOT AREA		± 34,648 S.F. ± 0.79 ACRES
BUILDING COVERAGE		4,745 S.F.
LANDSCAPE COVERAGE		5,309 S.F. (15%)
PARKING/DRIVE/SIDEWALK COVERAGE		24,872 S.F. (71%)
BICYCLE PARKING		2

	PARKING	
	STANDARD	11
REQUIRED PARKING	ADA	1
	TOTAL	12
	PARKING RATIO	= 1 CAR / 250 S.F.
PROPOSED PARKING	STANDARD	11
	ADA	1
	TOTAL	12
	PARKING RATIO	= 1 CAR / 250 S.F.

SITE DEVELOPMENT DRAWINGS STORE #2506 1300 EAST & 2100 SOUTH SALT LAKE CITY, UTAH 84106

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1	C0.0	COVER SHEET
2	C0.1	GENERAL NOTES
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7	C2.3	DRAINAGE PLAN
8	C3.1	UTILITY PLAN
9	PP1.0	PHOTOMETRIC PLAN
10	PP1.1	PHOTOMETRIC DETAILS
11	L1.0	LANDSCAPE PLAN
12	L1.1	LANDSCAPE DETAILS
	NTARY DRAWINGS PI OF SITE PLAN PACK	ROVIDED BY OTHER CLIENT TEAMS IN AGE:
13	1 OF 3	EXTERIOR ELEVATIONS
14	2 OF 3	CANOPY ELEVATIONS
15	3 OF 3	TRASH ENCLOSURE ELEVATIONS

ay Gaijow AR 03 1459 Grand Ave Des Moines, IA 50309 P: 888-458-6646 T \triangleleft UT U CITY SOUTH ĹШ SHEI & 2100 (AKE \mathbf{C} 1300 EAST COVEI AL S \mathbf{O} 0 S \sim # KG PROJECT TEAM: RDM: SCOTT BABCOCK SDM: RYAN HALDER CPM: SCOTT NEWBURY DATE: 02.04.2022

CONFIDENTIAL DOCUMENT: INFORMATION CONTAINED IN THIS DOCUMENT IS PROPRIETARY TO KUM & GO, L.C. AND SHALL NOT BE DISTRIBUTED.

<u>CAUTION - NOTICE TO CONTRACTOR</u>

ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE. WHETHER SHOWN ON THE PLANS OR NOT. PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE Know what's **Delow**. ENGINEER PRIOR TO CONSTRUCTION.



Call before you dig. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

CRITERIA PLAN 04/2020

SHEET NUMBER:

C0.0

GENERAL NOTES

- 1. ALL WORK AND CONSTRUCTION OF THIS PROJECT ON PRIVATE PROPERTY SHALL CONFORM TO KUM & GO STANDARD SPECIFICATIONS, DRAPER CITY, UDOT, AND THE SPECIFICATIONS/DETAILS SHOWN ON THESE PLANS.
- 2. ALL WORK AND CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY AND EASEMENTS SHALL CONFORM TO THE TECHNICAL SPECIFICATIONS, STANDARD DETAILS, AND DESIGN CRITERIA FOR PUBLIC IMPROVEMENT PROJECTS OF THE CITY OF DRAPER, COUNTY OF SALT LAKE, UTAH, AND THE GRANTOR OF THE EASEMENT AS APPLICABLE.
- IN CASE OF A CONFLICT BETWEEN VARYING SPECIFICATIONS, THE MOST STRINGENT SHALL APPLY.
- THE CONTRACTOR SHALL OBTAIN A COPY OF THE LATEST STANDARD SPECIFICATIONS AND DETAILS OF ALL AGENCIES EXERCISING JURISDICTION OVER THIS PROJECT, WHICH ARE INCORPORATED BY REFERENCE ON THESE PLANS. A COPY OF THESE SPECIFICATIONS AND DETAILS SHALL BE MAINTAINED ON THE JOBSITE AT ALL TIMES.
- THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT ALL TIMES ONE (1) SIGNED COPY OF THE PLANS, STANDARDS, AND SPECIFICATIONS AS APPROVED BY THE APPROPRIATE GOVERNING AGENCY AND OWNER. THE CONTRACTOR SHALL NOT CHANGE OR DEVIATE FROM DEMOLITION PLAN NOTES THESE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE OWNER, ENGINEER, 1 AND GOVERNING AGENCY.
- ALL WORK SHALL CONFORM TO ALL LOCAL, STATE, AND FEDERAL APPLICABLE LAWS AND **REGULATIONS.**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL JOB SITE SAFETY ON THE PROJECT. THIS SHALL INCLUDE THE SAFETY OF HIS OWN PERSONNEL, SUBCONTRACTORS, ALL VISITORS TO THE SITE, AND THE GENERAL PUBLIC. ALL JOB SITE SAFETY SHALL COMPLY WITH ALL LOCAL STATE, AND FEDERAL REGULATIONS AND CODES, AND ENSURE COMPLIANCE INCLUDING, BUT 4. NOT LIMITED TO, THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
- THE CONTRACTOR SHALL CONTACT ONE CALL OF UTAH AT #811 A MINIMUM OF 72 HOURS (EXCLUDING WEEKENDS AND HOLIDAYS) IN ADVANCE OF ANY EXCAVATION.
- THE LOCATIONS OF EXISTING UTILITIES AND STRUCTURES SHOWN ON THE PLANS ARE APPROXIMATE AND HAVE BEEN SHOWN FROM AVAILABLE SURVEYS AND/OR RECORDS. THERE MAY BE ADDITIONAL UTILITIES PRESENT, THE EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE, EXACT LOCATION/SIZE, ADEQUATELY PROTECT/SUPPORT, AND TO AVOID DAMAGE THERETO. THE CONTRACTOR SHALL INCLUDE, AT NO ADDITIONAL COST, ANY POTHOLING OR EXPLORATORY EXCAVATIONS NECESSARY TO LOCATE EXISTING UTILITIES. UTILITIES SHALL BE LOCATED SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY DUE TO ACTUAL LOCATION OF EXISTING FACILITIES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE GOVERNING AGENCY AND/OR THE UTILITY OWNER.
- 10. ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE INDICATED IN THE PLANS, AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
- 11. LOCATIONS AND ELEVATIONS OF EXISTING IMPROVEMENTS TO BE MET (OR AVOIDED) BY THE PROPOSED WORK SHALL BE CONFIRMED BY THE CONTRACTOR THROUGH FIELD EXPLORATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REPORT TO THE OWNER ANY DISCREPANCIES BETWEEN HIS MEASUREMENTS AND THESE PLANS.
- 12. THE CONTRACTOR SHALL CONTACT THE OWNER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES SHOWN IN THE PLANS AND/OR SPECIFICATIONS. DO NOT SCALE DRAWINGS - USE ONLY DIMENSIONS PROVIDED ON THESE PLANS.
- 13. ALL ESTIMATES OF QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL QUANTITIES, AND SHALL PROVIDE ALL WORK AND MATERIALS NECESSARY TO CONSTRUCT THE PROJECT IN ITS ENTIRETY.
- CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS NOT DESIGNATED FOR REMOVAL AND THOSE IMPROVEMENTS THAT ARE OUTSIDE THE LIMITS OF THE PROPOSED CONSTRUCTION. CONTRACTOR SHALL TAKE CARE TO AVOID DAMAGE THERETO AND SHALL PROVIDE TEMPORARY FENCING, BARRICADES, SUPPORTS, RESTRAINTS, AND/OR BRACING WHERE REQUIRED TO PROTECT EXISTING IMPROVEMENTS. DAMAGE TO EXISTING IMPROVEMENTS SHALL BE REPAIRED AND/OR REPLACED TO EQUAL OR BETTER CONDITION AT THE CONTRACTOR'S EXPENSE.
- 15. ALL GRADING AND CONSTRUCTION ACTIVITIES SHALL BE CONFINED TO THE OWNER'S PROPERTY, PUBLIC RIGHT-OF-WAY, PERMANENT EASEMENTS, AND TEMPORARY CONSTRUCTION EASEMENTS.
- 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NOT OBTAINED BY THE OWNER OR OWNER'S REPRESENTATIVES, AND PAY ALL FEES AS REQUIRED BY THE CONSTRUCTION COVERED IN THESE PLANS.
- 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE APPROPRIATE GOVERNING AGENCIES AND LOCAL FIRE DEPARTMENT OF ALL STREET CLOSURES AND EXISTING FIRE HYDRANTS/FIRE SUPPRESSION TAKEN OUT OF SERVICE AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- 18. THE CONTRACTOR IS RESPONSIBLE FOR ALL SITE SECURITY AND SHALL PROPERLY PROTECT AND BARRICADE THE CONSTRUCTION SITE UNTIL CONSTRUCTION IS COMPLETE. STORAGE. LOSS DUE TO THEFT, OR VANDALISM OF MATERIALS AND EQUIPMENT (SECURED OR UNSECURED) WILL BE SOLELY AT THE CONTRACTOR'S EXPENSE.
- 19. PRIOR TO BEGINNING THE WORK, THE CONTRACTOR SHALL OBTAIN ANY WRITTEN AGREEMENTS FOR INGRESS AND EGRESS TO THE WORK FROM ADJACENT PRIVATE PROPERTY OWNERS. ACCESS TO ANY ADJACENT PRIVATE PROPERTY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD, DURING ALL HOURS OF OPERATION FOR THE **BUSINESS LOCATED ON THOSE PARCELS.**
- 20. FOR ANY CHANGES OR DEVIATIONS FROM THESE PLANS PROPOSED BY THE CONTRACTOR, SHOP DRAWINGS AND MATERIAL SPECIFICATIONS SHALL BE SUBMITTED TO OWNER FOR REVIEW AND APPROVAL PRIOR TO PLACEMENT OF MATERIAL
- 21. CONTRACTOR MUST COORDINATE ALL CONSTRUCTION WITH THE DESIGNATED KUM & GO CONSTRUCTION PROJECT MANAGER.
- 22. CONTRACTOR SHALL PROTECT AND PRESERVE ALL SURVEY CONTROL AND PROPERTY MONUMENTATION. ANY DAMAGED MONUMENTS SHALL BE RESET BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE PROJECT'S STATE AT THE CONTRACTOR'S EXPENSE.
- 23. PRIOR TO MOVING OFF THE JOB SITE THE CONTRACTOR SHALL NOTIFY THE OWNER OR THE OWNER'S REPRESENTATIVE TO PERFORM THE FINAL WALK-THROUGH OF THE CONSTRUCTION SITE.
- 24. TEMPORARY POWER, TELEPHONE, AND WATER FOR THE SITE IS THE CONTRACTOR'S RESPONSIBILITY UNLESS OTHERWISE SPECIFIED.
- 25. CONTRACTOR SHALL REFER TO OTHER DRAWINGS ISSUED BY ARCHITECT. STRUCTURAL ELECTRICAL, AND MECHANICAL ENGINEERS. ENSURE COORDINATION OF EXACT LOCATION AND DIMENSIONS OF BUILDINGS. EXITS. RAMPS. UTILITY ENTRANCE LOCATIONS AND GRADES AROUND THE BUILDING. IMMEDIATELY NOTIFY OWNER OF ANY DISCREPANCIES.
- 26. NO BELOW GRADE WORK SHALL BE BACKFILLED (INCLUDING BEDDING MATERIAL ABOVE THE SPRING LINE OF THE PIPE) UNTIL THE CONSTRUCTION HAS BEEN INSPECTED AND APPROVED FOR BACKFILLING BY THE APPROPRIATE GOVERNING AGENCY, OWNER AND/OR OWNER'S REPRESENTATIVE.
- 27. THE CONTRACTOR SHALL PROVIDE ALL TRAFFIC CONTROL NECESSARY TO COMPLETE THE WORK. ALL TRAFFIC CONTROL DEVICES AND METHODS OF CONTROLLING TRAFFIC THROUGH

BE THE CONTRACTOR'S RESPONSIBILITY.

- FINAL PAVEMENT SUBGRADES SHALL BE PROOFROLLED IMMEDIATELY PRIOR TO THE 28. IF UNANTICIPATED HAZARDOUS MATERIALS OF ANY KIND ARE ENCOUNTERED IN THE WORK, PLACEMENT OF THE PAVEMENT TO DETECT LOCALIZED AREAS OF INSTABILITY. THE CONTRACTOR SHALL IMMEDIATELY CEASE ALL CONSTRUCTION OPERATIONS AND NOTIFY PROOFROLLING IS NOT RECOMMENDED IN THE AREAS OF THE NEW FUEL TANKS OR DELIVERY THE OWNER AND/OR OWNER'S REPRESENTATIVE FOR FURTHER DIRECTION. LINE INSTALLATION.
- 29. ALL DEBRIS RESULTING FROM CONSTRUCTION AND DEMOLITION SHALL BE HAULED OFF SITE 12. SUITABLE FILL MATERIALS SHALL BE PLACED IN THIN LIFTS OF 4 TO 8 INCHES LOOSE AND DISPOSED OF PROPERLY AND LEGALLY. MEASUREMENT, UNLESS OTHERWISE ALLOWED IN THE GEOTECHNICAL REPORT.
- GENERAL CONTRACTOR SHALL COORDINATE WITH POSTMASTER TO DETERMINE MAILBOX 16 LOCATION.

SITE PLAN NOTES

- 14. THE CONTRACTOR SHALL DEWATER ALL EXCAVATIONS AND TRENCHES AS NEEDED FOR THE DIMENSIONS SHOWN ON THE SITE PLAN ARE TO FACE OF CURB LINE IN CURBED AREAS AND CONSTRUCTION OF THE PROJECT USING MEANS/METHODS OF HIS CHOICE. REFER TO THE EXTERIOR FACE OF BUILDING, UNLESS OTHERWISE SPECIFIED. GEOTECHNICAL REPORT FOR ANTICIPATED LEVELS OF GROUNDWATER AND DEWATERING RECOMMENDATIONS.
- 2. A SEPARATE SIGN APPLICATION TO THE CITY OF DRAPER IS REQUIRED FOR ALL SIGNS.

- PRIOR TO BIDDING, CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS OF THE PROJECT AREA AND ANTICIPATED DEMOLITION REQUIREMENTS.
- CONTRACTOR TO PROTECT ALL UTILITY, PAVING, BUILDINGS, ETC. OUTSIDE OF LIMITS OF 2. PROPOSED CONSTRUCTION DURING DEMOLITION OPERATIONS.
- ALL EXISTING PAVEMENT ONSITE SHALL BE REMOVED UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO PAVING PLAN FOR DETAILS ON LIMITS OF PAVING DEMOLITION, AND EROSION CONTROL PLAN FOR PERIMETER CONTROL.
- 5. ALL DEMOLITION WORK ON THIS CONSTRUCTION SITE SHALL BE IN CONFORMANCE WITH LOCAL STANDARDS AND GUIDELINES.
- 6. THIS DEMOLITION PLAN DEPICTS THE ANTICIPATED REMOVALS NECESSARY FOR THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PUBLIC STREETS. ACCESS CONSTRUCTION OF THE PROJECT. MISCELLANEOUS AND MINOR REMOVALS MAY NOT BE ROUTES, AND WATERWAYS IN THE VICINITY OF THE JOB SITE CLEAN AND FREE OF ROCKS, SHOWN IN DETAIL BUT ARE CONSIDERED OBLIGATORY TO THE PROJECT. ADDITIONAL SOIL AND DEBRIS. REMOVALS MAY BE NECESSARY AND THE CONTRACTOR WILL BE REQUIRED TO REMOVE ALL THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENTATION CONTROL "BEST EXISTING IMPROVEMENTS THAT ARE IN CONFLICT WITH THE PROPOSED CONSTRUCTION AND MANAGEMENT PRACTICES" (BMPS) PRIOR TO ANY SITE PREPARATION WORK (E.G., CLEARING, AS OTHERWISE DIRECTED BY THE OWNER. GRUBBING, DEMOLITION, OR EXCAVATION).
- CONTRACTOR SHALL COORDINATE DEMOLITION AND/OR RELOCATION OF EXISTING UTILITIES THE PLACEMENT OF EROSION AND SEDIMENT BMPS SHALL BE IN ACCORDANCE WITH THE WITH THE APPROPRIATE UTILITY OWNER AND IN ACCORDANCE WITH THE UTILITY OWNER'S EROSION AND SEDIMENT CONTROL PLAN PREPARED FOR THE PROJECT. CONTRACTOR TO REQUIREMENTS. INTERRUPTIONS IN SERVICE SHALL BE COORDINATED WITH THE UTILITY ADJUST QUANTITY, LOCATION, AND TYPE OF EROSION AND SEDIMENT CONTROL BMPS AS OWNER AND PROPERTY OWNER(S) IMPACTED. CONTRACTOR SHALL COORDINATE WITH THE NECESSARY FOR THE VARIOUS PHASES OF THE WORK AND AS ACTUAL CONDITIONS RESPECTIVE UTILITY COMPANY FOR PORTIONS OF THE WORK TO BE PERFORMED BY UTILITY WARRANT. CONTRACTOR SHALL CONTINUOUSLY MODIFY THE EROSION AND SEDIMENT COMPANY'S FORCES, AND PROVIDE ADEQUATE NOTICE FOR SCHEDULING. THE CONTRACTOR CONTROL PLAN WITH CURRENT BMPS IN ACCORDANCE WITH THE CONSTRUCTION IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES, UNLESS OTHERWISE PAID BY KUM & STORMWATER PERMIT REQUIREMENTS. ADDITIONAL EROSION AND SEDIMENT CONTROL GO PRIOR TO CONSTRUCTION. UTILITY REMOVAL TRENCHES SHALL BE BACKFILLED WITH BMPS EMPLOYED BY THE CONTRACTOR AT HIS DISCRETION WILL NOT BE MEASURED OR PAID APPROVED MATERIAL AND MEET COMPACTION REQUIREMENTS PER THE GEOTECHNICAL FOR SEPARATELY BUT SHALL BE INCLUDED IN THE WORK. REPORT.
- A GROUNDWATER DISCHARGE PERMIT MAY BE REQUIRED FROM THE STATE GOVERNING THE SITE MAY CONTAIN EXISTING FOOTINGS OR OTHER UNDERGROUND STRUCTURES THAT AUTHORITY PRIOR TO DISCHARGE. ARE NOT DEPICTED ON THIS PLAN. CONTRACTOR SHALL TAKE CARE TO REMOVE ALL NECESSARY STRUCTURES AND BACKFILL IN CONFORMANCE WITH THE GEOTECHNICAL GROUNDWATER SHALL BE SAMPLED AND SENT TO AN APPROVED LABORATORY FOR TESTING REPORT. BOTTOM OF EXCAVATION SUBGRADE SHALL BE INSPECTED BY THE GEOTECHNICAL PRIOR TO BEING DISCHARGED. TESTING SHALL BE IN ACCORDANCE WITH THE PERMIT FOR TESTING ENGINEER AND APPROVED PRIOR TO ANY BACKFILL. STORMWATER DISCHARGE.
- CONTRACTOR TO COMPLETELY REMOVE TREES DESIGNATED TO BE REMOVED, STUMPS, AND 6. APPROVED EROSION AND SEDIMENT CONTROL BMPS SHALL BE MAINTAINED AND KEPT IN ROOT SYSTEMS. GOOD REPAIR FOR THE DURATION OF THIS PROJECT. UNLESS OTHERWISE REQUIRED BY THE STATE'S CONSTRUCTION STORMWATER PERMIT, AT A MINIMUM THE CONTRACTOR SHALL PRIOR TO DEMOLITION WORK, EROSION CONTROL DEVICES ARE TO BE INSTALLED. EROSION INSPECT ALL BMPS EVERY 14 DAYS, AND AFTER ALL SIGNIFICANT PRECIPITATION EVENTS I.E. CONTROL MEASURES SHALL BE ADJUSTED AS DEMOLITION AND CONSTRUCTION RAINFALL, SNOWMELT. ALL NECESSARY MAINTENANCE AND REPAIR ACTIVITIES SHALL BE SEQUENCING WARRANTS. COMPLETED WITHIN TWENTY-FOUR (24) HOURS AFTER DIRECTION BY THE INSPECTOR. 11. ALL EXISTING UNUSED SERVICE LINES FOR WATER AND WASTEWATER SHALL BE REMOVED ACCUMULATED SEDIMENT AND CONSTRUCTION DEBRIS SHALL BE REMOVED WEEKLY FROM PER LOCAL UTILITY COMPANY STANDARDS. ALL EXISTING UNUSED GAS, TELEPHONE, FIBER ALL BMPS, OR AT ANY TIME THAT SEDIMENT OR CONSTRUCTION DEBRIS ADVERSELY IMPACTS OR ELECTRIC LINE/SERVICE SHALL BE COORDINATED FOR REMOVAL WITH UTILITY COMPANY. THE FUNCTIONING OF THE BMPS.

- 12. THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION, REMOVAL, AND DISPOSING IN A TOPSOIL AND SUITABLE EARTHEN MATERIALS SHALL BE SEGREGATED AND STOCKPILED MANNER APPROVED BY ALL GOVERNING AUTHORITIES FOR ALL STRUCTURES, PADS, WALLS, WITHIN THE LIMITS OF CONSTRUCTION FOR USE ON AREAS TO BE FILLED AND RE-VEGETATED. PANS, FOUNDATIONS, PAVEMENT, UTILITIES, ETC. TO BE DEMOLISHED, SUCH THAT THE ANY AND ALL STOCKPILES SHALL BE PLACED IN AN APPROVED LOCATION AND PROTECTED IMPROVEMENTS SHOWN ON THE PLANS CAN BE CONSTRUCTED. DEMOLITION AND DISPOSAL FROM EROSIVE ELEMENTS USING MEASURES SPECIFIED IN THE EROSION/SEDIMENT PERMITS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. ALL FACILITIES TO BE REMOVED CONTROL PLAN AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP). SHALL BE UNDERCUT TO APPROVED GRADE AND BROUGHT UP TO PROPOSED GRADE WITH 10. SOILS THAT WILL BE STOCKPILED FOR MORE THAN THIRTY (30) DAYS SHALL BE MULCHED AND SUITABLE COMPACTED FILL MATERIAL PER THE GEOTECHNICAL REPORT. SEEDED WITH A TEMPORARY OR PERMANENT GRASS COVER WITHIN FOURTEEN (14) DAYS OF DURING DEMOLITION OPERATIONS. THE CONTRACTOR MUST PROTECT THE PUBLIC AT ALL STOCKPILE CONSTRUCTION.
- 13. TIMES USING MEANS OF THEIR CHOICE.
- 14. CONTRACTOR SHALL PRESERVE ALL LANDSCAPING NOT TO BE REMOVED FOR CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL AREAS DISTURBED BY CONSTRUCTION.
- 15. SAWCUTS SHALL BE TO FULL DEPTH OF EXISTING PAVEMENT. CONCRETE PAVEMENT SHALL BE REMOVED TO NEAREST EXISTING JOINT WHEN LESS THAN 5' FROM PROPOSED SAWCUT.

- UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND. GRADING PLAN NOTES 13. THE CONTRACTOR MUST KEEP ALL POLLUTANTS, INCLUDING SEDIMENT, CONSTRUCTION 1. PRIOR TO ANY GRADING OPERATIONS, ALL EROSION AND SEDIMENT CONTROL DEVICES DEBRIS, AND TRENCH BACKFILL MATERIALS FROM ENTERING THE STORM SEWER SYSTEM. SHALL BE ADEQUATELY IN PLACE. REFER TO THE EROSION AND SEDIMENT CONTROL PLAN FOR REQUIREMENTS. 14. ALL SPILLS INCLUDING, BUT NOT LIMITED TO, PETROLEUM PRODUCTS, SOLVENTS, AND
- CEMENT SHALL BE CLEANED UP IMMEDIATELY. THE LOCAL CITY/COUNTY AND STATE'S THE CONTOUR LINES, SPOT ELEVATIONS AND BUILDING FLOOR ELEVATIONS SHOWN ARE TO 2. GOVERNING AUTHORITY SHALL BE NOTIFIED IMMEDIATELY FINISH GRADE FOR SURFACE OF PAVEMENT, TOP OF SIDEWALKS AND CURBS, TOP OF FLOOR SLABS, ETC. REFER TO TYPICAL SECTIONS FOR MULCH, SOD, PAVING, SLAB AND AGGREGATE THE CONTRACTOR SHALL ENSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO BASE THICKNESS TO DEDUCT FOR SUBGRADE ELEVATIONS. OR EXPORTED FROM THE SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC RIGHT-OF-WAY. ALL MATERIAL EXPORTED FROM ALL TOP OF CURB AND SIDEWALK ELEVATIONS SHALL BE 0.5' ABOVE GUTTER ELEVATIONS THE SITE SHALL BE DISPOSED OF AT A SITE PERMITTED TO ACCEPT SUCH MATERIAL.
- UNLESS OTHERWISE NOTED. IN AREAS WITH SIDEWALK ABUTTING BACK OF CURB, TOP OF CURB ELEVATIONS SHALL BE EQUAL TO SIDEWALK ELEVATIONS.
- THE CONTRACTOR SHALL FINISH GRADE SLOPES AS SHOWN NO STEEPER THAN ONE FOOT VERTICAL IN THREE FEET HORIZONTAL.
- CONTRACTOR SHALL GRADE LANDSCAPED AREAS TO PROVIDE POSITIVE DRAINAGE AWAY 5 FROM BUILDINGS AND SIDEWALKS WHEN FINISH LANDSCAPE MATERIALS ARE IN PLACE. SLOPE SHALL BE A 2% MINIMUM.
- SITE AND BUILDING PAD PREPARATION, GRADING AND EXCAVATION PROCEDURES SHALL CONTRACTOR SHALL PROVIDE A COMPLETED "NOTICE OF TERMINATION" TO OWNER, FOR CONFORM TO THE RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT PREPARED OWNERS SUBMITTAL TO THE STATE'S GOVERNING AUTHORITY ONCE THE PROJECT IS BY [GSH GEOTECHNICAL CONSULTANTS, INC., JULY 30, 2021. PROJ. NO. 2774-016-21]. COMPLETE, ALL DISTURBED AREAS HAVE BEEN STABILIZED AND TEMPORARY BMPS HAVE IN CASE OF ANY DISCREPANCIES REGARDING EARTHWORK BETWEEN THE GEOTECHNICAL BEEN REMOVED.
- 7. REPORT AND THE SPECIFICATIONS SHOWN IN THESE PLANS, NOTIFY THE OWNER IMMEDIATELY.
- 19. THE CONTRACTOR SHALL CLEAN OUT ALL EXISTING AND PROPOSED INLETS, PIPES AND MANHOLES OF DEBRIS AND SEDIMENTATION AT COMPLETION OF SITEWORK. THIS WORK ALL HERBACEOUS VEGETATION AND TOPSOIL SHALL BE STRIPPED TO A MINIMUM DEPTH OF SHALL BE DONE TO THE SATISFACTION OF THE OWNER AND LOCAL AUTHORITIES. ANY 8 [INSERT SPECIFICATION PER GEOTECHNICAL REPORT] AND REMOVED FROM SITE OR CONSTRUCTION DEBRIS OR MUD DROPPED INTO MANHOLES, INLETS, PIPES OR TRACKED STOCKPILED FOR LATER USE IN LANDSCAPED AREAS. ONTO EXISTING ROADWAYS SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR. THE CONTRACTOR SHALL REPAIR ANY EXCAVATIONS OR PAVEMENT FAILURES CAUSED BY HIS ALL EXISTING PAVEMENT, UTILITIES, BURIED DEBRIS, RUBBLE, AND/OR CONSTRUCTION.
- STRUCTURES/FOUNDATIONS ENCOUNTERED WITHIN AREAS OF DISTURBANCE SHALL BE COMPLETELY REMOVED PRIOR TO OR DURING EARTHWORK OPERATIONS. WASTED MATERIAL PAVING NOTES SHALL NOT BE BURIED ONSITE WITHOUT THE PRIOR APPROVAL OF THE OWNER.

- CONSTRUCTION ZONES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MUTCD, AND ALL REVISIONS THERETO INCLUDING LOCAL AND STATE SUPPLEMENTS. ADDITIONAL WORK IN THE RIGHT-OF-WAY OR TRAFFIC CONTROL PERMITS MAY BE NECESSARY AND SHALL
 - 10. THE UPPER 24" OF ALL UTILITY TRENCHES IN UNPAVED AREAS SHALL BE BACKFILLED WITH COMPACTED COHESIVE SOILS. SEE GEOTECHNICAL REPORT FOR COMPACTION AND MOISTURE RECOMMENDATIONS.
 - IF REQUIRED, THE CONTRACTOR SHALL OBTAIN ALL LOCAL AND STATE PERMITS AND 13. AUTHORIZATION TO DISCHARGE FROM DEWATERING ACTIVITIES.
 - 15. ALL EXCAVATIONS AND TRENCHES SHALL BE SLOPED/SHORED/BRACED FOR PROTECTION OF PERSONNEL IN ACCORDANCE WITH OSHA REGULATIONS AND AT THE CONTRACTOR'S FULL DISCRETION BASED ON THE SITE CONDITIONS. OPEN EXCAVATIONS SHALL BE ADEQUATELY PROTECTED AND/OR FENCED AS NECESSARY AND FOR THE SAFETY OF THE PUBLIC.
 - STORMWATER MANAGEMENT AND EROSION/SEDIMENT CONTROL NOTES
 - THIS PROJECT REQUIRES A PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM THE STATE'S GOVERNING AUTHORITY. CONTRACTOR TO COMMENCE WORK ON THIS SITE ONLY AFTER AN ACTIVE PERMIT NUMBER HAS BEEN OBTAINED FROM THE STATE'S GOVERNING AUTHORITY. A LOCAL CONSTRUCTION STORMWATER PERMIT IS ALSO REQUIRED BY THE CITY OF DRAPER.
 - THE CONTRACTOR SHALL CONTINUOUSLY PROVIDE ADEQUATE STORMWATER MANAGEMENT 2. IN ACCORDANCE WITH THE APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP).

- 11. ANY SETTLEMENT OR SOIL ACCUMULATIONS BEYOND THE LIMITS OF CONSTRUCTION DUE TO 2 GRADING OR EROSION SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, PROPERTIES, ETC, RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
- 12. A WATER SOURCE MUST BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND
- 16. THE USE OF REBAR, STEEL STAKES OR STEEL FENCE POSTS FOR STAKING DOWN STRAW OR HAY BALES, OR TO SUPPORT SILT FENCING USED AS AN EROSION CONTROL MEASURE, IS PROHIBITED.
- 17. THE CLEANING OF CONCRETE DELIVERY TRUCK CHUTES IS RESTRICTED TO APPROVED LOCATIONS ON THE JOB SITE. THE DISCHARGE OF WATER CONTAINING WASTE CEMENT TO THE STORM SEWER SYSTEM IS PROHIBITED. ALL CONCRETE WASTE SHALL BE PROPERLY CLEANED UP AND DISPOSED OF AT AN APPROPRIATE LOCATION.

ALL PAVING WORK AND SUBGRADE PREPARATION/STABILIZATION SHALL CONFORM TO THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT, PREPARED BY [GSH GEOTECHNICAL CONSULTANTS, INC., JULY 30, 2021. PROJ. NO. 2774-016-21]. IN CASE OF ANY CONFLICT WITH

THESE PLANS, NOTIFY OWNER IMMEDIATELY.

UNLESS PROVIDED FOR IN THE PLANS, CONTRACTOR SHALL DEVELOP A CONCRETE PAVEMENT JOINTING PLAN USING THE PROPOSED PAVING PLAN AND SITE CONDITIONS. JOINT LAYOUT SHALL BE IN ACCORDANCE WITH ACI 330R "GUIDE FOR THE DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS," AND STANDARD CONSTRUCTION PRACTICES. JOINT DETAILS SHALL BE IN ACCORDANCE WITH CITY OF DRAPER STANDARD DETAILS, LOCAL UDOT STANDARD DETAILS. CONTRACTOR SHALL PROVIDE A PAVEMENT JOINTING PLAN FOR OWNER APPROVAL.

ALL CONCRETE PAVEMENT AND CONSTRUCTION SHALL MEET CITY OF DRAPER, UDOT SPECIFICATIONS. CONCRETE PAVEMENT SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI, TYPE I/II PORTLAND CEMENT (UNLESS OTHERWISE SPECIFIED IN THE GEOTECHNICAL REPORT FOR HIGHER SULFATE RESISTANCE), A SLUMP OF 4 INCHES +/- 1 INCH, AND AN AIR CONTENT OF 6% +/- 1%.

4. PAVEMENT MUST HAVE A SOLAR REFLECTANCE INDEX (SRI) OF 29 OR HIGHER.

ALL RADIUS DIMENSIONS SHOWN ON THE PAVING PLAN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.

ALL PAVEMENT MARKINGS FOR PARKING STALLS SHALL BE 4" WIDE YELLOW MARKINGS, CONFORMING TO AASHTO M248 READY MIXED YELLOW TRAFFIC PAINT.

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL ACCESSIBLE AREAS AND ROUTES ARE BUILT IN ACCORDANCE WITH THE PLANS AND THE "2010 ADA STANDARDS FOR ACCESSIBLE DESIGN". THE SITE MAY BE INSPECTED BY CITY PERSONNEL FOR COMPLIANCE WITH THE STANDARDS.

ADA ACCESSIBLE PARKING STALLS AND AISLES SHALL BE CONSTRUCTED WITH A MAXIMUM SLOPE OF 2.00% IN ANY DIRECTION. ADA ACCESSIBLE ROUTES SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% AND A MAXIMUM LONGITUDINAL SLOPE OF 5.00%

(UNLESS RAMPS AND LANDINGS ARE PROVIDED PER ADA STANDARDS). CURB RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 8.33% (12:1). ACCESSIBLE MANEUVERING AREAS AT DOORS SHALL BE CONSTRUCTED WITH A MAXIMUM 2.00% IN ANY DIRECTION. CONTRACTOR SHALL FIELD VERIFY ADA GRADES AND FORMWORK PRIOR TO PLACING ANY CONCRETE. OWNER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY SHOWN ON THE PLANS.

UTILITY NOTES

2

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES AT PROPOSED POINTS OF CONNECTION AND CONFIRM EXACT LOCATIONS/SIZES OF ALL UTILITY SERVICE LINE HOOKUPS TO THE BUILDING (PER MEP PLANS) PRIOR TO UTILITIES CONSTRUCTION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING ONSITE MEETINGS WITH THE CITY, GOVERNING AGENCIES, AND UTILITY OWNERS PRIOR TO THE START OF ANY CONSTRUCTION OR INSTALLATION OF UTILITIES.

THE CONTRACTOR SHALL CONSTRUCT ALL WATER AND SANITARY SEWER SERVICE LINES AND CONNECTIONS IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OR LOCAL UTILITY PROVIDER.

THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING UTILITY SERVICE CONNECTIONS WITH THE APPROPRIATE UTILITY COMPANY/OWNER, AND TO OBTAIN ALL PERMITS AND PAY ALL FEES AS REQUIRED FOR SERVICE CONNECTIONS TO UTILITY MAINS.

UTILITY TRENCHES AND STRUCTURE EXCAVATIONS ARE TO BE SLOPED OR BRACED AND SHEETED AS NECESSARY FOR THE SAFETY OF THE WORKMEN AND THE PROTECTION OF OTHER UTILITIES IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS.

UNLESS OTHERWISE NOTED, CONTRACTOR SHALL PROVIDE TRENCHING FOR ALL UTILITY SERVICE LINES.

CONTRACTOR TO SET AND ADJUST ALL PROPOSED UTILITY STRUCTURES, CLEANOUTS, VALVES, METER PITS, ETC. TO FINISH GRADE. EXISTING ITEMS AFFECTED BY THE WORK SHALL BE ADJUSTED AS REQUIRED TO MATCH FINISH GRADE

THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPARTMENT TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE AND ADJACENT PROPERTIES. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.

STORM SEWER NOTES

STORM SEWER PIPE MATERIALS SHALL MEET THE KUM & GO STANDARD SPECIFICATIONS, UNLESS OTHERWISE SPECIFIED IN THE PLANS. THEY SHALL BE HDPE DOUBLE-WALL, SMOOTH INTERIOR PIPE (ADS N-12 OR APPROVED EQUAL) UNLESS OTHERWISE SPECIFIED IN THE PLANS. ALL JOINTS AND STRUCTURE CONNECTIONS SHALL BE SOIL-TIGHT (MINIMUM).

STORM SEWER PIPE SHALL BE BEDDED, INSTALLED, AND BACKFILLED IN ACCORDANCE WITH THE DETAILS INCLUDED IN THE PLANS, MANUFACTURER'S INSTALLATION REQUIREMENTS, AND/OR STANDARD DETAILS INCLUDED BY REFERENCE.

ALL CAST-IN-PLACE CONCRETE DRAINAGE STRUCTURES SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI, TYPE II CEMENT (UNLESS OTHERWISE SPECIFIED) WITH AIR ENTRAINING ADMIXTURES AND SHALL CONFORM TO THE LOCAL CITY'S SPECIFICATIONS.

SMALL DIAMETER STORM SEWER CONNECTIONS (12 INCH DIAMETER AND LESS) SHALL BE MADE WITH REDUCING WYE'S, 45 DEGREE BENDS, AND REDUCING COUPLERS, UNLESS OTHERWISE INDICATED. REFER TO PLAN AND DETAILS FOR SYSTEM LAYOUT.

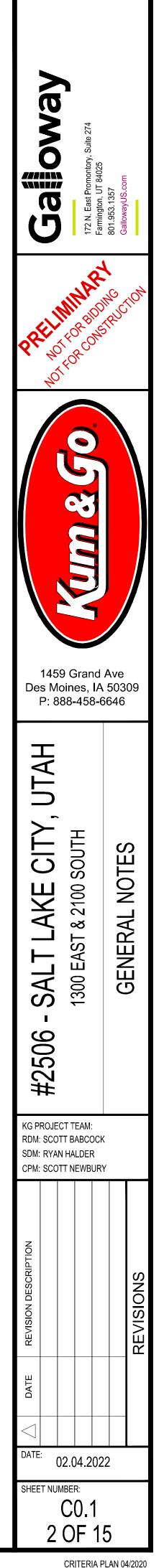
ALL CAST-IN-PLACE AND PRE-FABRICATED DRAINAGE STRUCTURES WITHIN PAVED AREAS MUST BE INSTALLED TO MEET (AT A MINIMUM) AASHTO H-20/HS-20 LOAD RATING. THE GENERAL CONTRACTOR SHALL CONSULT WITH THE MANUFACTURER OF ANY PRE-FABRICATED STRUCTURE TO CONFIRM INSTALLATION MEASURES REQUIRED TO ENSURE THE AFOREMENTIONED LOAD RATING IS ACHIEVED. FOR ALL PRE-FABRICATED NYLOPLAST® DRAIN BASINS, THE GENERAL CONTRACTOR SHALL POUR A CONCRETE COLLAR UNDER THE FRAME/GRATE/HOOD ASSEMBLY IN THE MINIMUM DIMENSIONS SPECIFIED ON THE MANUFACTURER'S STANDARD DETAIL DRAWINGS TO ACHIEVE H-20/HS-20 LOAD RATING. THE GENERAL CONTRACTOR SHALL CONTACT OWNER FOR ADDITIONAL DIRECTION IF H-20/HS-20 INSTALLATION GUIDELINES CANNOT BE OBTAINED FROM THE MANUFACTURER OF ANY PROPOSED PRE-FABRICATED STRUCTURE.

CAUTION - NOTICE TO CONTRACTOR

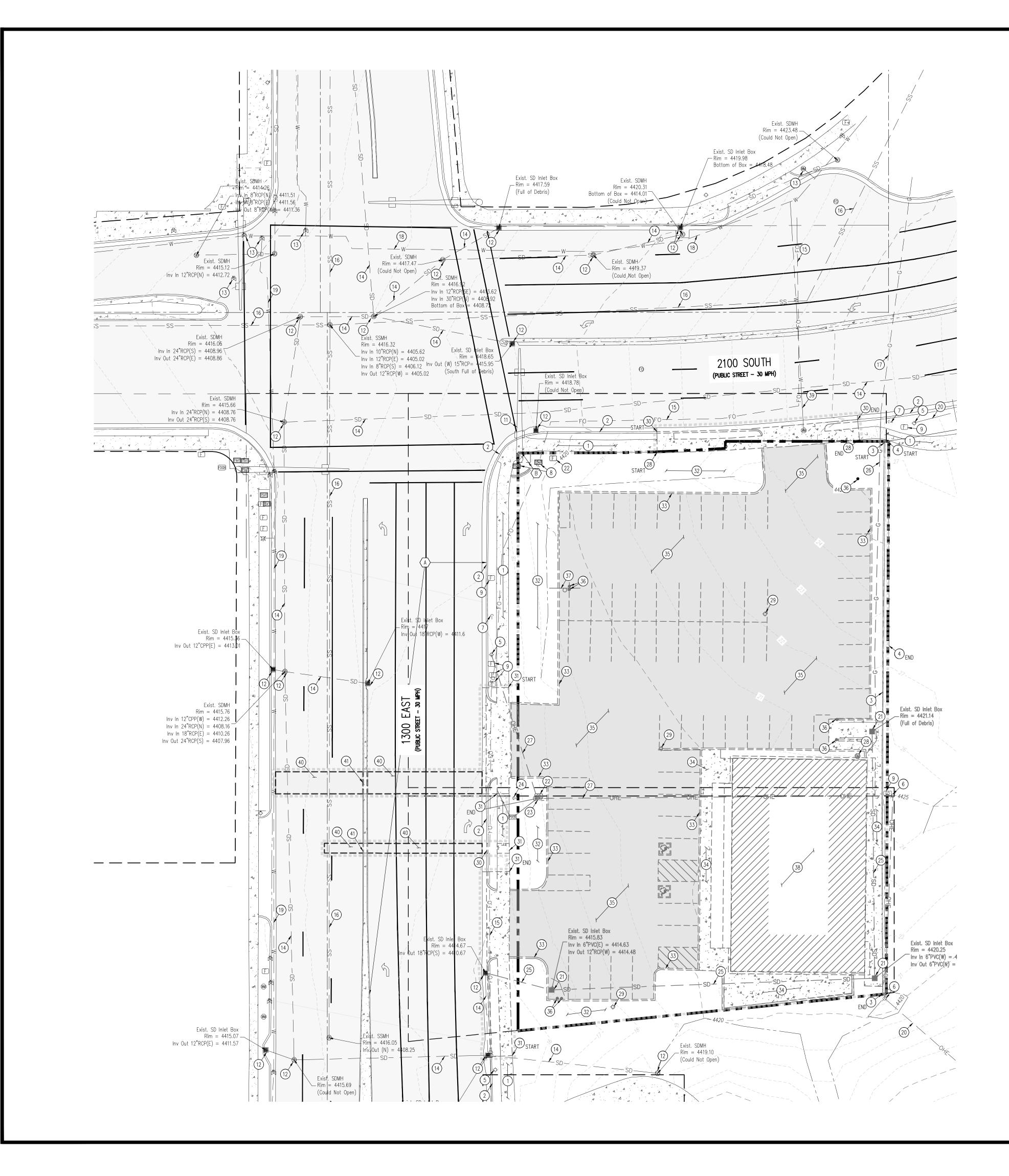
BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES. PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE Know what's DEIOW. ENGINEER PRIOR TO CONSTRUCTION.

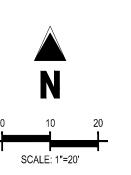


Call before you dig.



. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY. EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.





FLAG NOTES	DEMOLITION LEGEND			
1 EXISTING CONCRETE SIDEWALK TO REMAIN.		DEMOLITION LIMIT LINE		
2 EXISTING 30" CURB AND GUTTER TO REMAIN.	4310	- EXISTING MAJOR CONTOUR		
\bigcirc EXISTING CONCRETE RETAINING WALL TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.	11·	EXISTING MINOR CONTOUR		
(4) EXISTING CHAIN LINK FENCE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.		PROPERTY BOUNDARY LINE		
(5) EXISTING LIGHT POLE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.		- ADJACENT PROPERTY BOUNDARY LINE	Suite 274	
6 EXISTING UTILITY POLE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.	X	- EXISTING FENCE	خ ()	
\bigcirc EXISTING GUY WIRES TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.		- EXISTING TO REMAIN	romon JT 840	7 .com
8 EXISTING TELECOM VAULT TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.		- EXISTING TO BE REMOVED	172 N. East Promontory, 172 N. 184025	801.953.1357 GallowayUS.com
(9) EXISTING ELECTRICAL VAULT TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.		- SAWCUT LINE	Larmir Farmir	801.9
(10) EXISTING FIBEROPTIC BOX TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.		EXISTING CURB AND GUTTER		
(1) EXISTING TRAFFIC POLE & SIGNAL TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.	0	EXISTING BOLLARD	at	•
(12) EXISTING STORM DRAIN STRUCTURE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.			INA.	S NON
(13) EXISTING WATER STRUCTURE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.	,	EXISTING SIGN	IMI BIDO	RUCI
(14) EXISTING STORM DRAIN LINE TO REMAIN.		EXISTING ASPHALT TO REMAIN	PRE-IMMARY PRE-IMMARY PRE-IMMARY PRE-IMMARY PRE-IMMARY PRE-IMMARY	•
(15) EXISTING FIBEROPTIC LINE TO REMAIN.		EXISTING ASPHALT TO BE REMOVED	My top	
(16) EXISTING SANITARY SEWER LINE TO REMAIN.		EXISTING SIDEWALK TO REMAIN	40'	
17) EXISTING GAS LINE TO REMAIN.		EXISTING SIDEWALK TO BE REMOVED		
(18) EXISTING 6" C.I.P. WATER LINE TO REMAIN.	W W	- EXISTING WATER		
(19) EXISTING 12" D.I.P. WATER LINE TO REMAIN.	SD	- EXISTING STORM DRAIN		
20) EXISTING OVERHEAD ELECTRIC LINE TO REMAIN.		- EXISTING SANITARY SEWER		
(21) EXISTING STORM DRAIN STRUCTURE TO BE REMOVED.	G	- EXISTING GAS	O M	
(22) EXISTING FIBEROPTIC BOX TO BE REMOVED AND RELOCATED.	UT	- EXISTING TELEPHONE		
23 EXISTING POWER POLE TO BE REMOVED. CONTRACTOR TO COORDINATE WITH ROCKY MOUNTAIN POWER.	OHE	- EXISTING OVERHEAD POWER		
24 EXISTING GUY WIRE TO BE REMOVED. CONTRACTOR TO COORDINATE WITH ROCKY MOUNTAIN POWER.		- EXISTING FIBER OPTIC LINE		
(25) EXISTING STORM DRAIN LINE TO BE REMOVED.		EXISTING ELECTRICAL SWITCH BOX		
(26) EXISTING GAS LINE TO BE REMOVED.	ĒM	EXISTING ELECTRICAL METER		
(27) EXISTING OVERHEAD ELECTRIC LINE TO BE REMOVED.	(Ē)	EXISTING ELECTRICAL MANHOLE		
(28) EXISTING GAS METER TO BE REMOVED.	(TR)	EXISTING ELECTRICAL TRANSFORMER		
(29) EXISTING LIGHT POLE TO BE REMOVED.	(E)	EXISTING ELECTRICAL BOX	1459 Grand A	
(30) EXISTING 30" CURB AND GUTTER TO BE REMOVED.	(F)	EXISTING FIBER OPTICS BOX	Des Moines, IA 9 P: 888-458-66	
(31) EXISTING CONCRETE SIDEWALK TO BE REMOVED.	(TL)	EXISTING FIBER OF IICS BOX		
(32) CLEAR AND GRUB EXISTING LANDSCAPE.				
33) EXISTING 24" CONCRETE CURB & GUTTER TO BE REMOVED.	Ø	EXISTING POWER POLE	A	
(34) EXISTING CONCRETE SIDEWALK AND THICKENED EDGE WALK TO BE REMOVED.	ф х - 1	EXISTING LIGHT POLE	UTAH	
(35) EXISTING ASPHALT PAVEMENT TO BE REMOVED.		EXISTING FIRE HYDRANT		
(36) EXISTING BOLLARD TO BE REMOVED.		EXISTING WATER VALVE		-
(37) EXISTING SIGN TO BE REMOVED.		EXISTING IRRIGATION VALVE		A
(38) EXISTING 4,722 S.F. BUILDING TO BE REMOVED.		EXISTING WATER METER		Ч
(39) EXISTING WATER LINE TO BE ABANDONED IN PLACE.	SD	EXISTING STORM DRAIN MANHOLE	AKE CI7 & 2100 SOUT	DEMOLITION PI
(40) EXISTING ASPHALT TO BE REMOVED AND REPLACED FOR UTILITY CUT.	(\mathbb{S})	EXISTING SANITARY SEWER MANHOLE	A	Ц
(41) EXISTING CONCRETE MEDIAN TO BE REMOVED AND REPLACED FOR UTILITY CUT.		EXISTING STORM DRAIN BOX		
	GM	EXISTING GAS METER	SALT L 1300 EAST	MC
			300 300	Ш

A	EASEMENT CONSTRUC SIDEWALKS AS ENTRY
B	EASEMENT PURPOSE RECORDED

BEGINNING WORK COMPLETE WORK
CONTRACTOR IS F WORK FOR ANY L OR DISTRICT HAVI IS NOT LIMITED TO
NOTE: CONTRAC SHALL HAVE LICE THEIR COST.

PROJECT NO: TBD

IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FO SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

EASEMENT SCHEDULE

IN FAVOR OF THE STATE ROAD COMMISSION OF UTAH FOR THE PURPOSE OF JCTING CUT AND/OR FILL SLOPES MADE NECESSARY BY THE GRADING FOR KS AS RESERVED IN THAT CERTAIN WARRANTY DEED RECORDED MAY 2, 1963 Y NO. 1916498 IN BOOK 2046 AT PAGE 121 OF OFFICIAL RECORDS. IT IN FAVOR OF THE UTAH DEPARTMENT OF TRANSPORTATION FOR THE E ON CONSTRUCTING AND MAINTAINING A SIGNAL POLE AND APPURTENANCES, ED JANUARY 2, 1981 AS ENTRY NO. 3520184 IN BOOK 5197 AT PAGE 445 OF OFFICIAL RECORDS.

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO K AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY VING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BU TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS. CTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR ENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION SOIL PREPARATION & PAVEMENT DESIGN NOTE SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS: GEOTECHNICAL ENGINEERING EXPLORATION AND ANALYSIS: PROPOSED PUBLIC STORAGE FACILITY GEOTECHNICAL ENGINEER: GSH GEOTECHNICAL CONSULTANTS, INC. DATE: MONTH DD, YYYY THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION

BENCHMARK

BENCHMARK: STREET MONUMENT AT 2100 SOUTH AND DOUGLAS AVENUE. NAVD88 ELEVATION = 4401.32'

BASIS OF BEARING

BEARINGS ARE GRID BEARINGS OF THE UTAH STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE MONUMENTED CENTERLINE OF 2100 SOUTH STREET BEARS S 89'58'51" E MONUMENTED AS SHOWN HEREON.

LEGAL DESCRIPTION

A PART OF BLOCK 46, 10-ACRE PLAT "A", BIG FIELD SURVEY, SALT LAKE CITY, UTAH, FURTHER DESCRIBED AS FOLLOWS:

BEGINING AT A POINT ON THE EAST RIGHT OF WAY LINE OF 1300 EAST STREET WHICH IS 66.00 FEET EAST AND 264.00 FEET SOUTH AND 45.05 FEET NORTH 84'15'00" EAST FROM THE NORTHEAST CORNER OF LOT 10 OF SAID BLOCK 46; RUNNING THENCE NORTH 0°01'00" WEST 235.41 FEET ALONG SAID EAST RIGHT OF WAY TO THE SOUTH RIGHT OF WAY LINE OF 2100 SOUTH STREET; THENCE ALONG SAID SOUTH RIGHT OF WAY LINE (4) FOUR COURSES AS FOLLOWS: NORTH 89'51'00" EAST 33.31 FEET TO A POINT OF CURVATURE, EASTERLY ALONG THE ARC OF A 766.20 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 51.16 FEET (CENTRAL ANGLE EQUALS 3'49'33" AND LONG CHORD BEARS NORTH 87'56'14" EAST 51.15 FEET), NORTH 2.84 FEET AND EAST 66.58 FEET TO A POINT ON THE EAST SECTION LINE OF SECTION 20, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SLB&M; THENCE SOUTH 013'44" WEST 225.07 FEET ALONG SAID SECTION LINE; THENCE SOUTH 8415'00" WEST 150.80 FEET TO THE POINT OF BEGINNING.

CONTAINS: 34,648 SQ. FT. OR 0.795 ACRES

<u>CAUTION – NOTICE TO CONTRACTOR</u>

ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS F BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE Know what's DEIOW. ENGINEER PRIOR TO CONSTRUCTION.



DATE

SHEET NUMBER:

506

#2

KG PROJECT TEAM:

SDM: RYAN HALDER

RDM: SCOTT BABCOCK

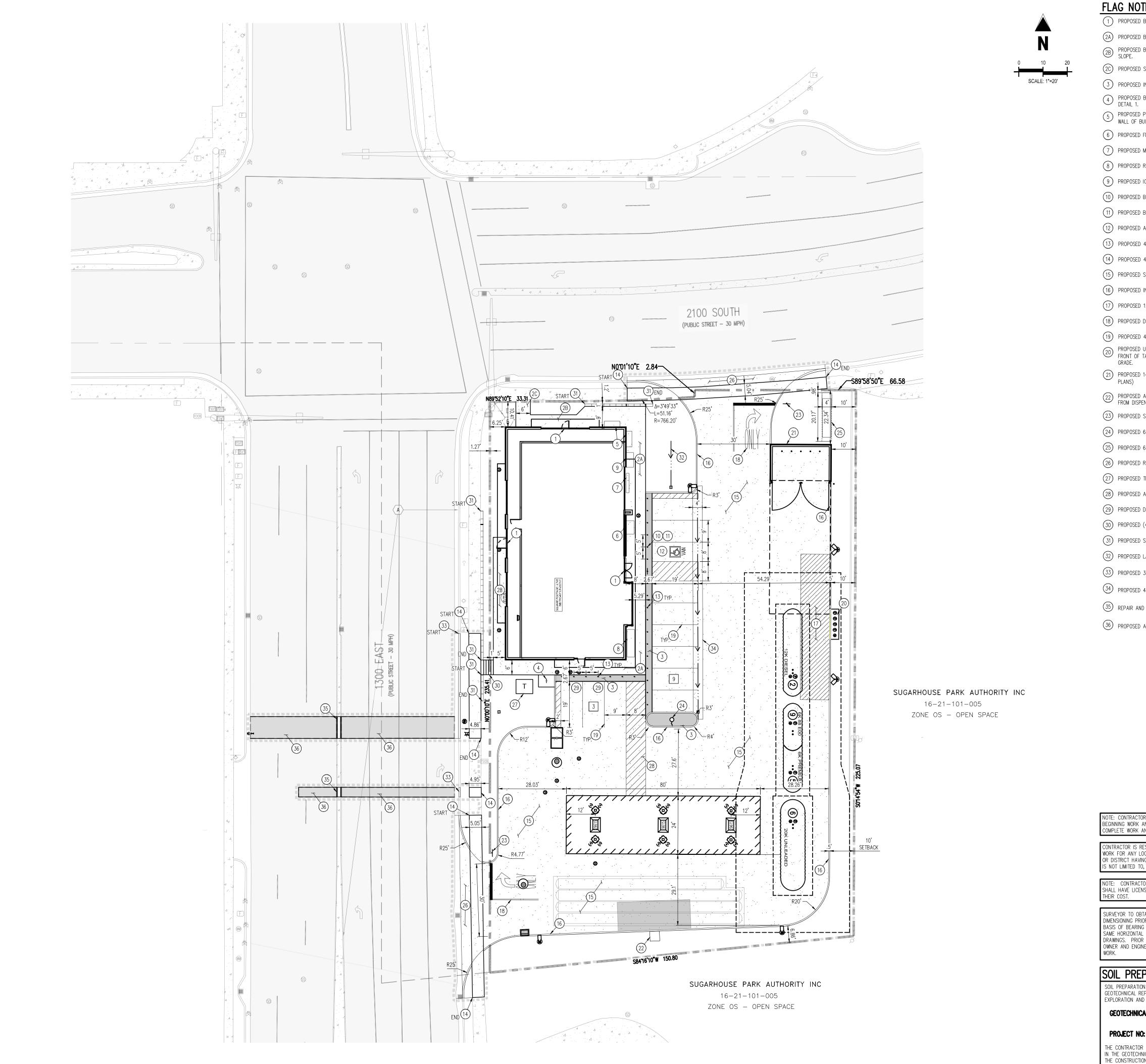
CPM: SCOTT NEWBURY

Call before you dig.

WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

02.04.2022

C0.2



OTES	SITE LEGEND			
SED BUILDING ENTRY, REFER TO ARCHITECTURAL PLANS		CONSTRUCTION LIMIT LINE	_	
SED BUILDING CONCRETE SIDEWALK. 1.5% MAX. CROSS SLOPE.		EXISTING BOUNDARY LINE		
SED BUILDING CONCRETE SIDEWALK ADJACENT TO LANDSCAPE. 1.5% MAX. CROSS		PROPOSED PROPERTY BOUNDARY LINE		
SED SIDEWALK AT LANDSCAPE.		ADJACENT PROPERTY BOUNDARY LINE	wite 274	
SED INTEGRAL-COLORED CONCRETE – 6" MINIMUM PAVEMENT THICKNESS.		RIGHT OF WAY BOUNDARY LINE	te 274	
SED BOLLARD BIKE RACK ON 5.0' X 6.5' X 4" THICK CONCRETE PAD. REF. 1.		CENTER LINE OF ROAD		
ED PROPANE CAGE (9' x 9', 4" CONCRETE PAD. 1.5% SLOPE AWAY FROM SIDE F BUILDING).		EXISTING EASEMENT LINE	Gading States Promontory, Suite 274 Farmington, UT 84025	S.com
SED FIREWOOD LOCATION.		ADA PATH	ington,	953.13 wayU
SED MISCELLANEOUS MERCHANDISE LOCATION.	ф ЦЦ	EXISTING / PROPOSED LIGHT POLE		Gallo
SED RED BOX(ES) LOCATION.	• •	EXISTING / PROPOSED BOLLARD		
SED ICE MERCHANDISER LOCATION.		, EXISTING / PROPOSED SIGN	R	
SED BOLLARD MOUNTED ADA VAN PARKING SIGN.	5	PROPOSED STALL COUNT	AINA.	S (10
SED BOLLARD MOUNTED ADA PARKING SIGN.		PROPOSED CURB AND GUTTER	AL MAR BIOL	200
SED ACCESSIBLE PARKING SPACE.		EVICETING OURD AND OUTTER	Pro Cons	
SED 4" DIAMETER BOLLARDS.		EXISTING CURB AND GUTTER	PRELIMINARY NOTFORDONS	
SED 4" CONCRETE SITE SIDEWALK. 1.5% MAX. CROSS SLOPE.		PROPOSED CONCRETE PAVEMENT	40	
ED STANDARD DUTY CONCRETE PAVEMENT.		EXISTING CONCRETE SIDEWALK		
SED INTEGRAL CONCRETE CURB.		PROPOSED SITE CONCRETE PAVEMENT		
SED 12'X60' LOADING ZONE, 45' CROSS HATCH, 2' O.C. STRIPING		EXISTING ASPHALT PAVEMENT		
ED DRIVEWAY ENTRANCE MARKINGS.		PROPOSED ASPHALT PAVEMENT		
SED 4" WIDE YELLOW PAVEMENT MARKINGS, TYP. SED UNDERGROUND FUEL STORAGE TANKS WITH CONCRETE PAD. PAINT CURB IN			OX I	
OF TANKS AND CONCRETE PAD YELLOW. ALL LIDS SHALL BE 1" ABOVE FINISHED				
SED 14'–8" X 24'–8" TRASH ENCLOSURE WITH NICHIHA (REF. ARCHITECTURAL				
SED AIR MACHINE LOCATION, 4'x4' CONCRETE PAD. KEEP AT LEAST Ø20' AWAY IISPENSERS AND TANK FILL PORTS.				
SED STOP SIGN AT PUBLIC RIGHT OF WAY.				
SED 60' FLAGPOLE, MAINTAIN Ø24' CLEAR SPACE ABOVE GRADE.				
SED 6' MONUMENT SIGN.				
SED RADIUS DRIVE APPROACH.			1459 Grand A	
ED TRANSFORMER LOCATION.			Des Moines, IA 9 P: 888-458-66	
ED ADA STRIPING, 45° CROSS HATCH, 2" O.C. STRIPING.				
ED DESIGNATED FUTURE EV STALLS.				
ED (4) CONCRETE STAIRS.			UTAH	
ED SEGMENTAL RETAINING WALL.				
SED LANDSCAPED SWALE.				
ED 30" CURB & GUTTER.				
SED 4' CONCRETE WATER WAY.				
AND REPLACE EXISTING CONCRETE MEDIAN BARRIER.				Z
SED ASPHALT PATCH.			SALT LAKE CITY 1300 EAST & 2100 SOUTH	SITE PLAN

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK	EASEMENT SCHEDULE
CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS. NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.	 EASEMENT IN FAVOR OF THE STATE ROAD COMMISSION OF UTAH CONSTRUCTING CUT AND/OR FILL SLOPES MADE NECESSARY BY SIDEWALKS AS RESERVED IN THAT CERTAIN WARRANTY DEED REV AS ENTRY NO. 1916498 IN BOOK 2046 AT PAGE 121 OF OFFICIA EASEMENT IN FAVOR OF THE UTAH DEPARTMENT OF TRANSPORT PURPOSE ON CONSTRUCTING AND MAINTAINING A SIGNAL POLE A RECORDED JANUARY 2, 1981 AS ENTRY NO. 3520184 IN BOOK 5 OFFICIAL RECORDS.
SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL	BENCHMARK
DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.	BENCHMARK: STREET MONUMENT AT 2100 SOUTH AND DOUGLAS AVENUE. NAVD88 ELEVATION = 4401.32' BASIS OF BEARING ALL BEARINGS ARE GRID BEARINGS OF THE UTAH STATE PLANE COORDINA
SOIL PREPARATION & PAVEMENT DESIGN NOTE	ZONE, NORTH AMERICAN DATUM 1983. THE MONUMENTED CENTERLINE OF BEARS S 89'58'51" E MONUMENTED AS SHOWN HEREON.
SOIL FILLFARATION & FAVLIVILIAT DESIGN NOTE SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS: GEOTECHNICAL ENGINEERING EXPLORATION AND ANALYSIS: PROPOSED PUBLIC STORAGE FACILITY GEOTECHNICAL ENGINEER: GSH GEOTECHNICAL CONSULTANTS, INC.	CAUTION – NOTICE TO CONTRACTOR 1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES,
PROJECT NO: TBD DATE: MONTH DD, YYYY	PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE KN ENGINEER PRIOR TO CONSTRUCTION.
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- ROAD COMMISSION OF UTAH FOR THE PURPOSE OF DPES MADE NECESSARY BY THE GRADING FOR RTAIN WARRANTY DEED RECORDED MAY 2, 1963 6 AT PAGE 121 OF OFFICIAL RECORDS.
- EPARTMENT OF TRANSPORTATION FOR THE INTAINING A SIGNAL POLE AND APPURTENANCES, RY NO. 3520184 IN BOOK 5197 AT PAGE 445 OF

AH STATE PLANE COORDINATE SYSTEM, CENTRAL NUMENTED CENTERLINE OF 2100 SOUTH STREET

CONTRACTOR



DATE:

SHEET NUMBER:

#2506

KG PROJECT TEAM:

SDM: RYAN HALDER

RDM: SCOTT BABCOCK

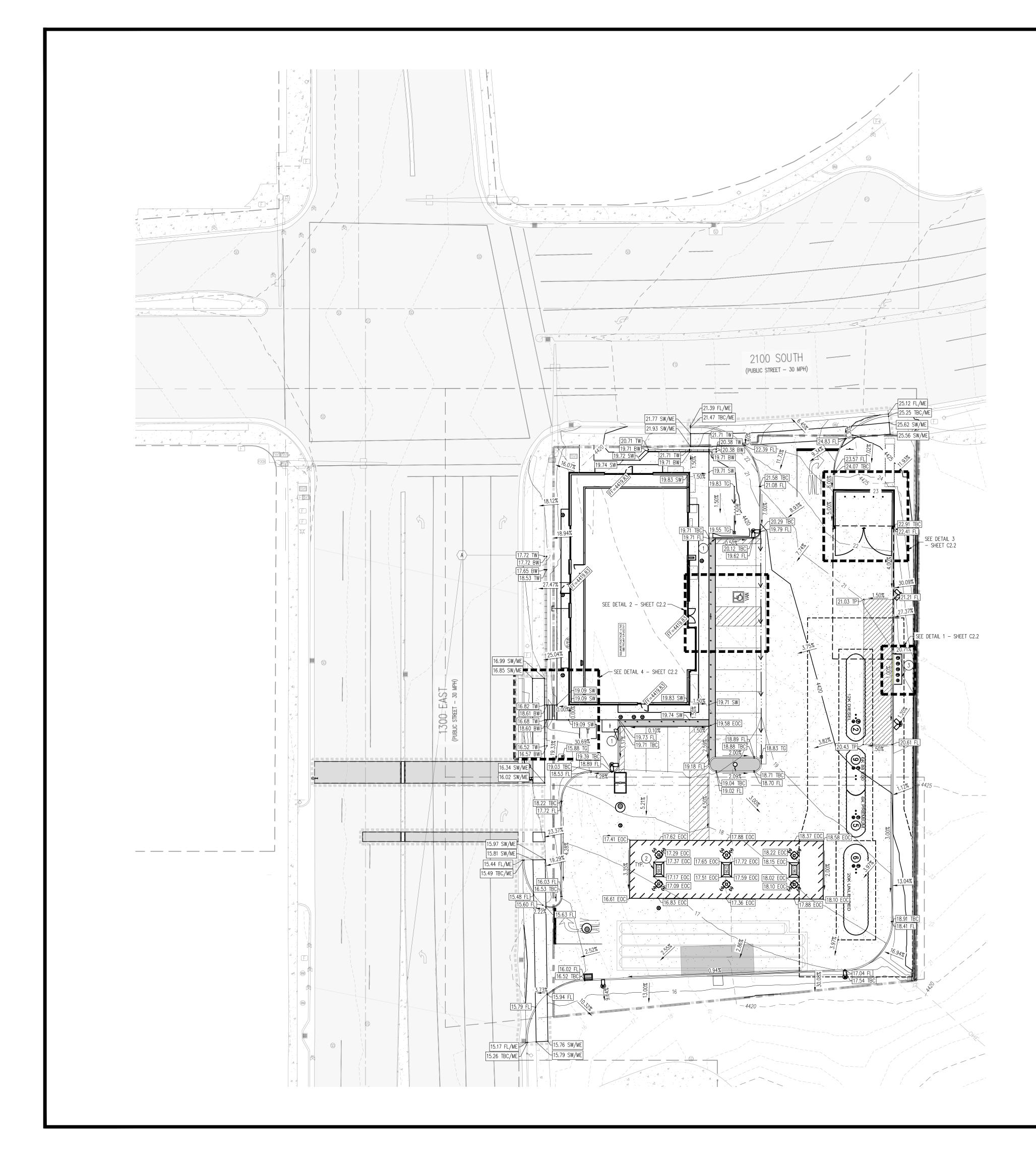
CPM: SCOTT NEWBURY

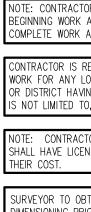
CREPANCIES TO THE Know what's **below**. Call before you dig.

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02.04.2022

C1.1





PROJECT NO: TBD

A N		
0	10	20
Τ	SCALE: 1"=20'	

GRADING LEGEND	
4310	- EXISTING MAJOR CONTOUR
	- EXISTING MINOR CONTOUR
	- PROPOSED MAJOR CONTOUR
(1)	- PROPOSED MINOR CONTOUR
· · ·	- PROPOSED GRADE BREAK
· · · (. · · (- PROPOSED SWALE FLOW LINE
15.00	PROPOSED SPOT ELEVATION
BR	BOTTOM OF RAMP
TR	TOP OF RAMP
FF	FINISHED FLOOR
FG	FINISHED GRADE
FL	FLOWLINE
GB	GRADE BREAK
ME	MATCH EXISTING
TBC	TOP BACK OF CURB
EOC	EDGE OF CONCRETE
TG	TOP OF GRATE
RIM	RIM
1.50%	EXISTING SLOPE ARROW
1.50%	PROPOSED SLOPE ARROW

O **Ga** 1459 Grand Ave Des Moines, IA 50309 P: 888-458-6646 UTAH & 2100 SOUTH CH AN AKE Ч GRADING 1300 EAST AL. S 506 #2 KG PROJECT TEAM: RDM: SCOTT BABCOCK SDM: RYAN HALDER CPM: SCOTT NEWBURY DATE 02.04.2022

FLAG NOTES

- (1) PROPOSED 3' TRANSITION TO ZERO FACE CURB
- (2) ALL CONCRETE FUELING ISLANDS SHALL BE 2" ABOVE FINISH GRADE.
- (3) ALL FUEL FILL LIDS SHALL BE 1" ABOVE FINISH GRADE.

BENCHMARK

NAVD88 ELEVATION = 4401.32'

BASIS OF BEARING

BENCHMARK: STREET MONUMENT AT 2100 SOUTH AND DOUGLAS AVENUE.

ALL BEARINGS ARE GRID BEARINGS OF THE UTAH STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE MONUMENTED CENTERLINE OF 2100 SOUTH STREET BEARS S 89'58'51" E MONUMENTED AS SHOWN HEREON.

LEGAL DESCRIPTION

A PART OF BLOCK 46, 10-ACRE PLAT "A", BIG FIELD SURVEY, SALT LAKE CITY, UTAH, FURTHER DESCRIBED AS FOLLOWS:

BEGINING AT A POINT ON THE EAST RIGHT OF WAY LINE OF 1300 EAST STREET WHICH IS 66.00 FEET EAST AND 264.00 FEET SOUTH AND 45.05 FEET NORTH 8415'00" EAST FROM THE NORTHEAST CORNER OF LOT 10 OF SAID BLOCK 46; RUNNING THENCE NORTH 0°01'00" WEST 235.41 FEET ALONG SAID EAST RIGHT OF WAY TO THE SOUTH RIGHT OF WAY LINE OF 2100 SOUTH STREET; THENCE ALONG SAID SOUTH RIGHT OF WAY LINE (4) FOUR COURSES AS FOLLOWS: NORTH 89'51'00" EAST 33.31 FEET TO A POINT OF CURVATURE, EASTERLY ALONG THE ARC OF A 766.20 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 51.16 FEET (CENTRAL ANGLE EQUALS 3'49'33" AND LONG CHORD BEARS NORTH 87'56'14" EAST 51.15 FEET), NORTH 2.84 FEET AND EAST 66.58 FEET TO A POINT ON THE EAST SECTION LINE OF SECTION 20, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SLB&M; THENCE SOUTH 013'44" WEST 225.07 FEET ALONG SAID SECTION LINE; THENCE SOUTH 8415'00" WEST 150.80 FEET TO THE POINT OF BEGINNING. CONTAINS: 34,648 SQ. FT. OR 0.795 ACRES

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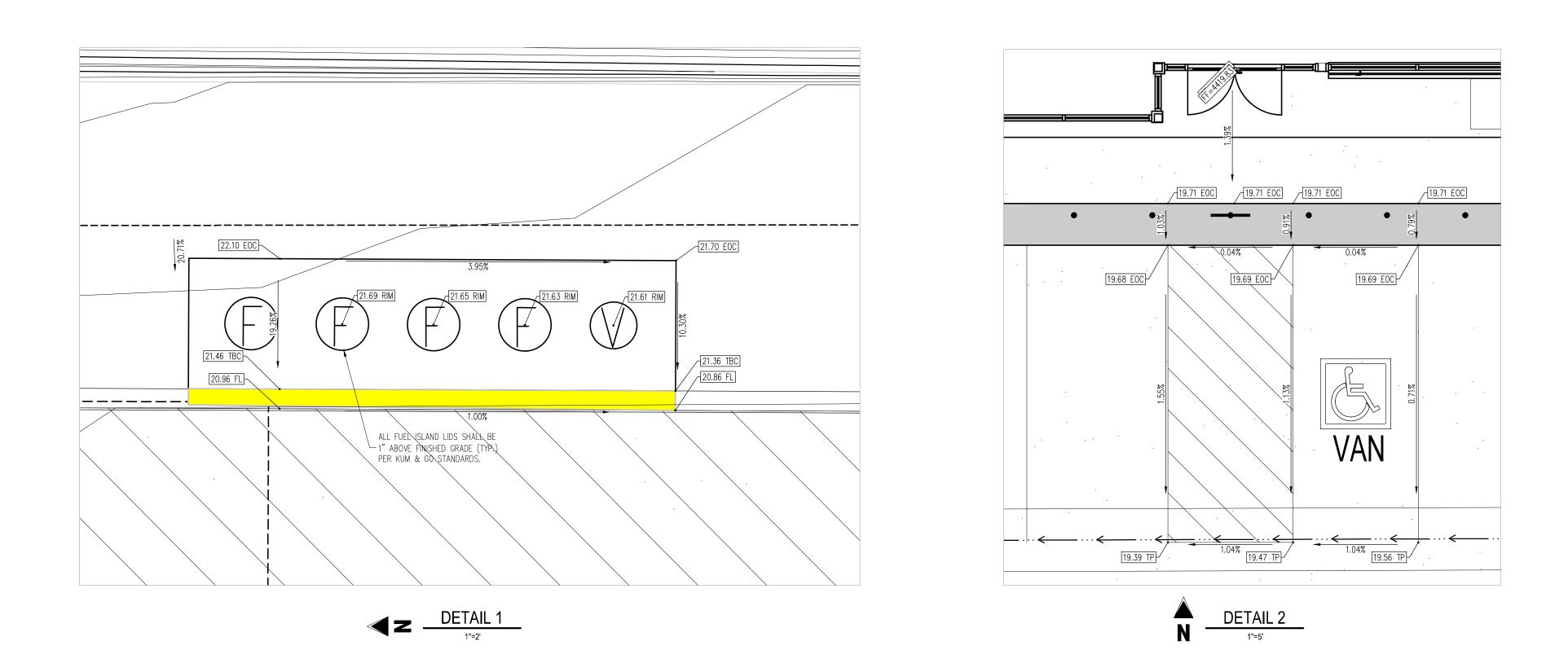
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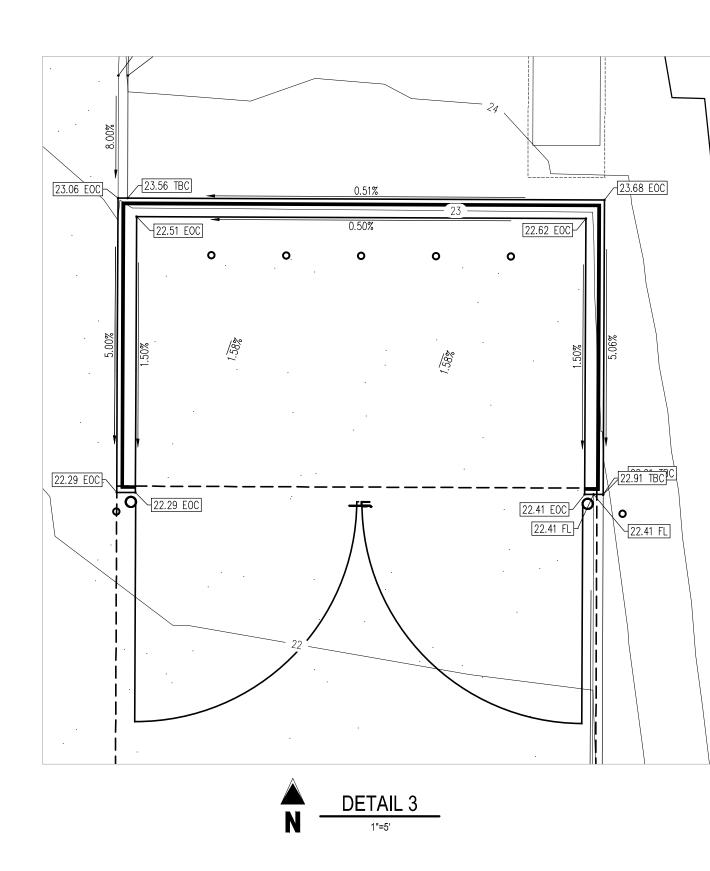
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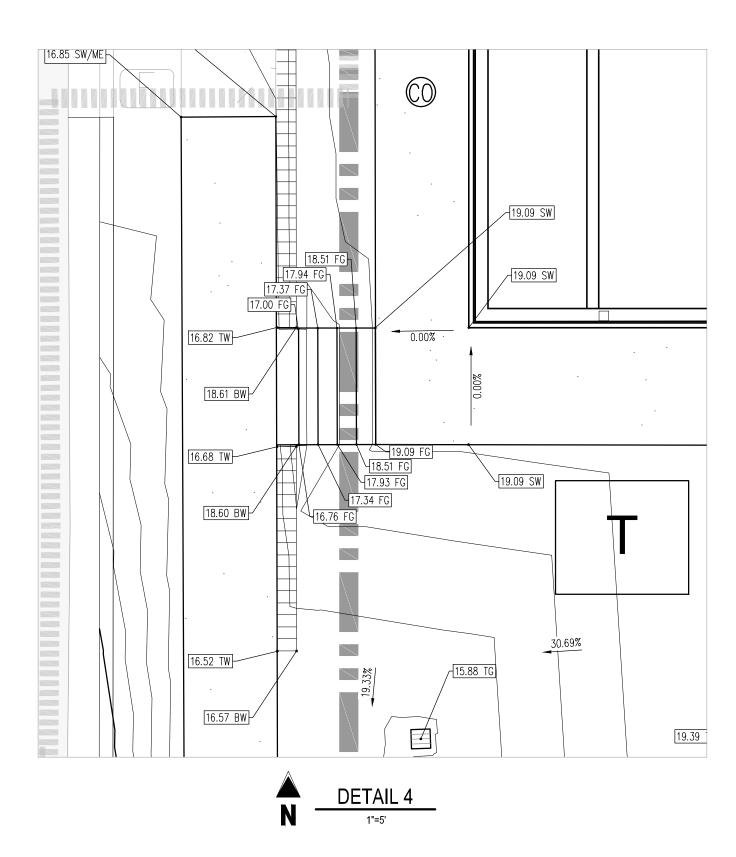
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SHEET NUMBER: C2.1 5 OF 15



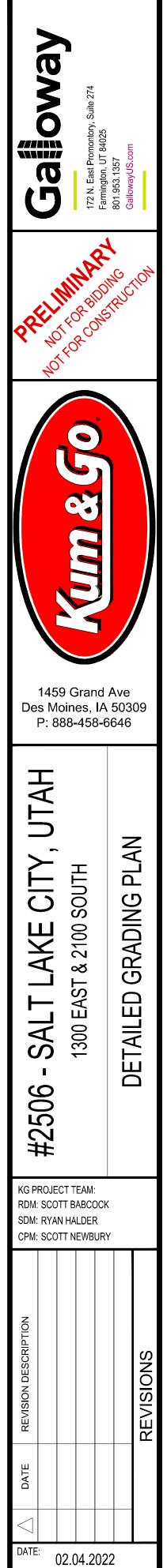




NOTE: CONTRACTO BEGINNING WORK / COMPLETE WORK /
CONTRACTOR IS R WORK FOR ANY LO OR DISTRICT HAVIN IS NOT LIMITED TO
NOTE: CONTRACT SHALL HAVE LICEN THEIR COST.
SURVEYOR TO OB DIMENSIONING PRI BASIS OF BEARING SAME HORIZONTAL DRAWINGS. PRIOF OWNER AND ENGIN WORK.
SOIL PRE

PROJECT NO: TBD

GRADING LEGEND					
4310	EXISTING MAJOR CONTOUR				
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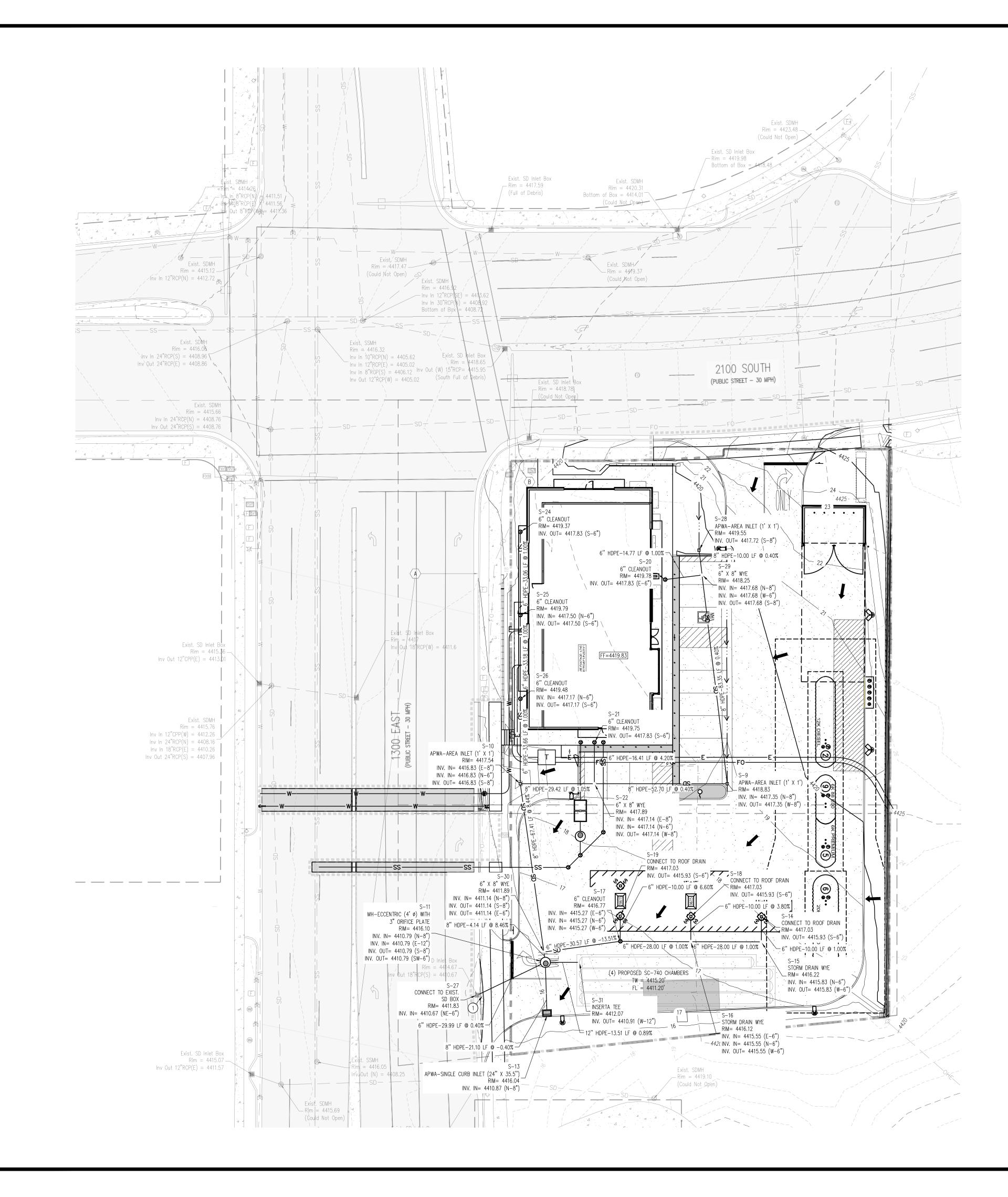
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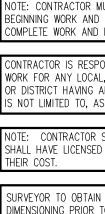
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CRITERIA PLAN 04/2020

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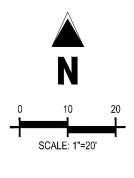
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BASIS OF BEARING A SAME HORIZONTAL / DRAWINGS. PRIOR OWNER AND ENGINEE WORK.

PROJECT NO: TBD



DRAINAGE LEGEND PROPERTY LINE FLOW ARROW ----- SD---- EXISTING STORM DRAIN PROPOSED STORM DRAIN SD O EXISTING / PROPOSED STORM DRAIN MANHOLE EXISTING / PROPOSED STORM DRAIN BOX

EMERGENCY OVERFLOW ARROW

FLAG NOTES

 \longrightarrow

UTILITY CROSSING (CONTRACTOR TO FIELD VERIFY LOCATION, SIZE, AND DEPTH OF EXISTING UTILITY AND NOTIFY ENGINEER OF CONFLICTS, PRIOR TO CONSTRUCTION.)

2 PROPOSED ROOF DRAIN OR CANOPY DRAIN CONNECTION TO BUILDING. REFERENCE PLUMBING PLANS FOR CONTINUATION.

Gaijoway	172 N. East Promontory, Suite 274 Farminaton. UT 84025	801.953.1357 GallowavUS.com	
PRELIN	OR CONS	TRUC TRUC	10 th
	M& 40		
Des Moi	Grand nes, IA 8-458-6	503	09
- SALT LAKE CITY, UTAH	1300 EAST & 2100 SOUTH		
KG PROJECT RDM: SCOTT SDM: RYAN H	BABCOC	<	
SDM: RYAN F CPM: SCOTT		Y	REVISIONS
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DATE: MONTH DD, YYYY

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FEMA FLOOD ZONE PER FIRMETTE 49035C0301H, EFFECTIVE 11/19/2021;

THIS PROPERTY RESIDES IN FEMA FLOOD ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN

BENCHMARK BENCHMARK: STREET MONUMENT AT 2100 SOUTH AND DOUGLAS AVENUE.

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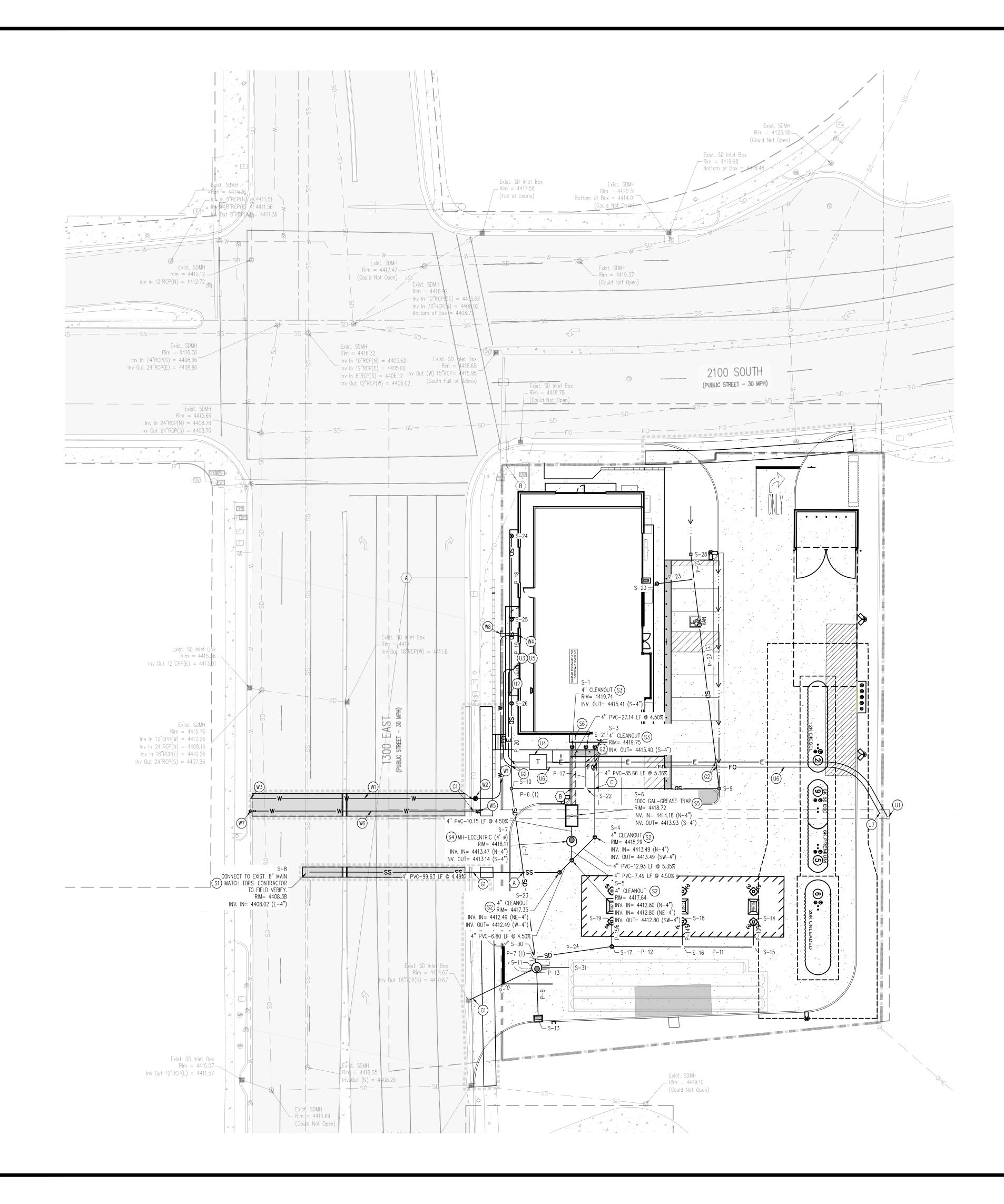
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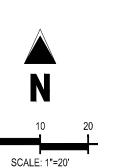
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(U1)	PROPOSED VERIFY EX.
(U2)	PROPOSED COORDINA
(U3)	PROPOSED ARCHITECT
(U4)	PROPOSED
(U5)	PROPOSED REFERENCE
(U6)	PROPOSED
(U7)	COORDINA ⁻ PROVIDER.

(W1)	PROPOSED
(W2)	PROPOSED

(W4)	PROPOSED PLUMBING
W5)	PROPOSED

<u>(S1)</u>	PROPOSED SEWER MA LOCATION, RESULTS.
S2)	PROPOSED

FIR COST

PROJECT NO: TBD

GENERAL FLAG NOTES

GI UTILITY CROSSING (CONTRACTOR TO FIELD VERIFY LOCATION, SIZE, AND DEPTH OF EXISTING UTILITY AND NOTIFY ENGINEER OF CONFLICTS, PRIOR TO CONSTRUCTION.) (2) UTILITY CROSSING. CONTRACTOR TO MAINTAIN MINIMUM 1' CLEAR SPACE between utilities from outer edge to outer edge.

DRY UTILITY FLAG NOTES

CONNECTION TO ROCKY MOUNTAIN POWER. CONTRACTOR TO XACT LOCATION WITH UTILITY PROVIDER. D ELECTRICAL PRIMARY ROUTING FROM P.O.C. TO TRANSFORMER. ATE WITH ROCKY MOUNTAIN POWER FOR FINAL ROUTING. D BUILDING ELECTRICAL POINT OF SERVICE. REFERENCE TURAL PLANS FOR FINAL LOCATION. D TRANSFORMER LOCATION. D BUILDING POINT OF SERVICE FOR TELEPHONE AND INTERNET.

CE ARCHITECTURAL PLANS FOR FINAL LOCATION. D FIBEROPTIC LINE.

ATE CONNECTION TO EXISTING WITH COMMUNICATIONS UTILITY

WATER FLAG NOTES

D 2" TYPE K CULINARY WATER LINE.

D 2" WATER METER BOX AND SETTER.

(W3) PROPOSED TIE IN TO EXISTING 12" WATER MAIN LINE WITH DOUBLE STRAP SERVICE SADDLE AND COORDINATE STOP. DOMESTIC WATER POINT OF SERVICE TO BUILDING. REFERENCE PLANS FOR CONTINUATION.

D FIRE HYDRANT ASSEMBLY.

(W6) PROPOSED 6" DUCTILE IRON PIPE FIRE LANE.

 PROPOSED TIE IN TO EXISTING 12" WATER MAIN LINE WITH GATE VALVE AND CONCRETE THRUST BLOCK.
 (W8) PROPOSED IRRIGATION POINT OF CONNECTION.

SANITARY SEWER FLAG NOTES

D 4" SEWER LATERAL CONNECTION WITH WYE TO EXISTING 8" IAIN. MATCH EXISTING TOP OF PIPE ELEVATION. FIELD VERIFY SIZE, , AND DEPTH PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF

ED SANITARY SEWER CLEANOUT.

(S3) PROPOSED SANITARY SEWER CLEANOUT FOR POINT OF SERVICE TO BUILDING. REFERENCE PLUMBING PLANS FOR CONTINUATION.

(S4) PROPOSED Ø4' SANITARY SEWER SAMPLING MANHOLE.

(S5) PROPOSED 1000 GALLON GREASE INTERCEPTOR.

(S6) PROPOSED 2" VENT LINE FROM GREASE TRAP TO BUILDING. REFERENCE MECHANICAL AND PLUMBING PLANS FOR VTR COORDINATION.

UTILITY LEGEND	
W	EXISTING WATER LINE
W	PROPOSED WATER LINE
SS	EXISTING SANITARY SEWER
SS	PROPOSED SANITARY SEWER
SD	EXISTING STORM DRAIN
SD	PROPOSED STORM DRAIN (LESS THAN 12")
	PROPOSED STORM DRAIN
G	EXISTING GAS
G	PROPOSED GAS
UT	EXISTING TELEPHONE
	EXISTING OVERHEAD POWER
F0	EXISTING FIBER OPTIC LINE
TR	EXISTING ELECTRICAL TRANSFORMER
F	EXISTING FIBER OPTICS BOX
TL	EXISTING COMMUNICATION BOX
⊹□≠□≠□	EXISTING / PROPOSED LIGHT POLE
\sum_{x_1}	EXISTING / PROPOSED FIRE HYDRANT
\mathbb{M}	EXISTING / PROPOSED WATER VALVE
R	EXISTING IRRIGATION VALVE
WTVT	EXISTING WATER VAULT
IRVT	EXISTING IRRIGATION VAULT
SD O	EXISTING / PROPOSED STORM DRAIN MANHOLE
s O	EXISTING / PROPOSED SANITARY SEWER MANHOLE
0 0	EXISTING / PROPOSED CLEANOUT
	EXISTING / PROPOSED STORM DRAIN BOX

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1459 Grand Ave Des Moines, IA 50309 P: 888-458-6646



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KG PROJECT TEAM:

SDM: RYAN HALDER

RDM: SCOTT BABCOCK

CPM: SCOTT NEWBURY

UTILITY CROSSING							
ТОР		INVERT ELEVATON BOTTOM		TOP OF PIPE ELEVATION	CLEARANCE		
	8"STM	4414.00'	4" SAN	4412.18'	1.82'		
B	8"STM	4417.11'	4" SAN	4415.00'	2.11'		
C	8" STM	4417.15'	4" SAN	4414.85'	2.30'		

PROPOSED FLARED END SECTION

EXISTING / PROPOSED GAS METER

 \supset

SOUTH VALLEY SEWER DISTRICT NOTES

- 1. ALL CONSTRUCTION SHALL COMPLY WITH SOUTH VALLEY SEWER DISTRICT'S DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
- 2. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
- 3. FOUR FEET OF COVER IS REQUIRED OVER ALL SEWER LINES.
- THE NOSE-ON FOR THE SEWER LATERAL SHALL BE PERFORMED BY SOUTH VALLEY SEWER DISTRICT (SVSD) PERSONNEL. CONTACT SVSD AT LEAST 24 HOURS PRIOR TO CONSTRUCTION.

FEMA FLOOD ZONE PER FIRMETTE 49035C0301H, EFFECTIVE 11/19/2021;

THIS PROPERTY RESIDES IN FEMA FLOOD ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN

BENCHMARK ENCHMARK: STREET MONUMENT AT 2100 SOUTH AND DOUGLAS AVENUE.

NAVD88 ELEVATION = 4401.32'

BASIS OF BEARING L BEARINGS ARE GRID BEARINGS OF THE UTAH STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE MONUMENTED CENTERLINE OF 2100 SOUTH STREET BEARS S 89'58'51" E MONUMENTED AS SHOWN HEREON.

<u>CAUTION - NOTICE TO CONTRACTOR</u>

ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE Know what's DEIOW. ENGINEER PRIOR TO CONSTRUCTION.



DATE

SHEET NUMBER:

Call before you dig.

WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

02.04.2022

C3.1

8 OF 15

TE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO EGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO OMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK

NORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENC' R DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BU NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR HALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A

EXPLORATION AND ANALYSIS: PROPOSED PUBLIC STORAGE FACILITY GEOTECHNICAL ENGINEER: GSH GEOTECHNICAL CONSULTANTS, INC.

DATE: MONTH DD, YYYY

THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FO SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

ONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF

SOIL PREPARATION & PAVEMENT DESIGN NOTE

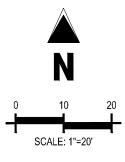
GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS: GEOTECHNICAL ENGINEERING

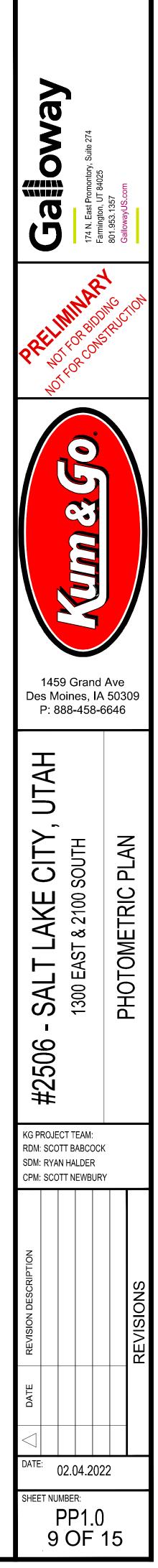
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LUMIN	AIRE S	CHEC	DULE				
LABEL	SYMBOL	QTY	ARRANGEMENT	MODEL NUMBER	DESCRIPTION	LUMENS	TOTAL WATTS
А	Ô	10	SINGLE	SCV-LED-23L-SCFT-50-WHT	LSI LIGHTING, SCOTTSDALE VERTEX SERIES, 23L LUMEN PACKAGE, SYMMETRIC AND FORWARD THROW DISTRIBUTION, 5000K, WHITE, LED CANOPY FIXTURE. MOUNTED AT 15'-6"	23101	188
В		6	SINGLE	WST-LED-P2-40K-VW-MVOLT	LITHONIA LIGHTING, WST LED SERIES, 3,000 LUMEN PACKAGE, 4000K, VISUAL COMFORT WIDE DISTRIBUTION, LED DECORATIVE WALL SCONCE. MOUNTED AT 11-0"	3512	25
С	D -	1	SINGLE	TLFL LED-20L-UNV-DIM-40-BLK	LSI LIGHTING, TLFL SERIES, 20L LUMEN PACKAGE, 4000K, BLACK COLOR, LED FLOODLIGHT, MOUNTED AT 4'-0". AIMED TO ILLUMINATE FLAG	19790	188
D	0	24	SINGLE	DNR-52609 LED6-40K	ATLANTIC LIGHTING, RECESSED 6" LENSED LED DOWNLIGHT, 4000K, FROSTED LENS, SPECULAR CLEAR FINISH MOUNTED AT 9'-0"	1579	23.8
E		2	SINGLE	SLM-18L-SIL-FT-UNV-50-70-BRZ-IL-S	LSI LIGHTING, SLICE MEDIUM LED SERIES AREA LIGHT, 18,000 LUMENS PACKAGE, 5000K, 70 CRI, SINGLE HEAD FLAT LENS FIXTURE WITH INTEGRAL LOUVER SHIELD, FORWARD THROW MOUNTED ON 16' POLE WITH 2'-6" CONCRETE BASE	12568	149
F		4	2 @ 90 DEGREES	SLM-18L-SIL-FT-UNV-50-70-BRZ-IL-D90	LSI LIGHTING, SLICE MEDIUM LED SERIES AREA LIGHT, 18,000 LUMENS PACKAGE, 5000K, 70 CRI, DOUBLE HEAD FLAT LENS FIXTURE WITH INTEGRAL LOUVER SHIELD, FORWARD THROW MOUNTED ON 16' POLE WITH 2'-6" CONCRETE BASE	12568	298

NOTES: REFER TO MEP PLANS FOR SITE LIGHTING ELECTRICAL AND POLE BASE DETAIL. DISTANCE FROM CENTER OF POLE TO BACK OF CURB = 4'-0'' UNLESS NOTED OTHERWISE.

CALCULATION SUMMARY					UNIFORMITY	' RATIOS
LABEL	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CANOPY AREA	FC	47.74	75.7	25.5	1.87 to 1	2.97 to 1
PARKING AREAS	FC	4.15	12.1	0.7	5.93 to 1	17.29 to 1
DRIVE AREAS	FC	10.25	34.7	1.4	7.32 to 1	24.79 to 1



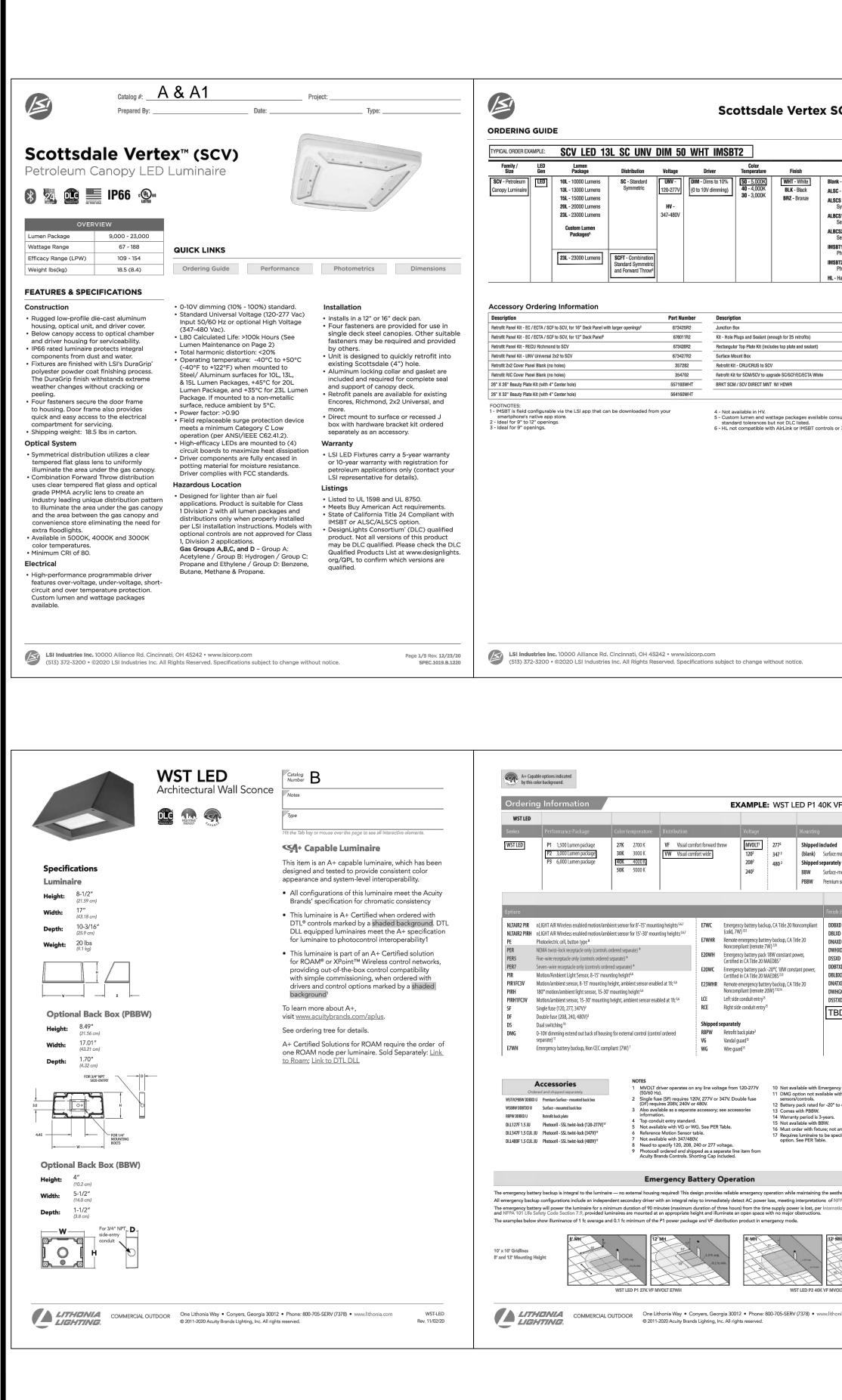


CAUTION – NOTICE TO CONTRACTOR 1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.



2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

CRITERIA PLAN 04/2020



Type: CV Petroleum	1/5/	alog # : E&F	Project : Date :	ß			Sli	ce Medium	n Out
Back to Quick Links	Slice Medium (S	LM)		ORDERING	GUIDE				
	Outdoor LED Area Ligh		THE A	TYPICAL ORDER EXAM		LED 36L SIL FTA	UNV DIM	50 70CRI ALS	SCS04
Options				Luminaire Prefix	Light Source	Lumen Light Package Output	Distribution	n Orientat	tion ²
DNE rLink Synapse Wireless Control System VirLink Synapse Wireless Control am with Sensor AirLink Blue Wireless Motion & Photo or Controller (8-24' mounting height) ⁴				SLM - Slice Medium	12L - 18L - 24L - 30L - 36L -	18,000 Ims 24,000 Ims 30,000 Ims 36,000 Ims 42,000 Ims 14,000	3 - Type 3 5W - Type 5 Wide FT - Forward Throw FTA - Forward Throw		d left 90°
- AirLink Blue Wireless Motion & Photo sor Controller (25-40' mounting height) ⁴					48L -	48,000 lms m Lumen Packages ¹	AM - Automotive Mercha	andise	
 Integral Bluetooth[™] Motion and tocell Sensor 8 - 24' mounting height ^{1,4} 				Color Temp	Color Rendering	Cont	ntrols (Choose One)		F
- Integral Bluetooth™ Motion and tocell Sensor 25 - 40' mounting height ^{1,4} ardous Location Class 1 Div 2 ⁶	OVERVIEWLumen Package9,000 - 48,000Wattage Range69 - 401Efficacy Range (LPW)93 - 145Weight Ibs(kg)30 (13.6)	QUICK LINKS Ordering Guide Performance	Photometrics Dimensions	50-5,000 CCT 40-4,000 CCT 30-3,000 CCT AMB - Phosphor Converted Amber ¹²	70CRI - 70 CRI	(Blank) - None Wireless Controls System. ALSC - AirLink Synapse Control System ALSCH - AirLink Synapse Control Syste ALSCB02 - AirLink Synapse Control Sy ALSCB02 - AirLink Synapse Control Sy ALSCB04 - AirLink Synapse Control System ALSCB04 - AirLink Synapse Control System A	tern Host / Satellite³ ystern with 12-20' Moti Systern Host / Satellite v	with 12-20' Motion Sensor 3	BRZ - Bror BLK - Blac GPT - Grap MSV - Met WHT - Wh PLP - Plati
Part Number 687461	FEATURES & SPECIFICATIONS					ALSCHS04 - AirLink Synapse Control S ALBCS1 - AirLink Blue Wireless Motion ALBCS2 - AirLink Blue Wireless Motion	System Host / Satellite v 1 & Photo Sensor Conti	with 20-40' Motion Sensor ³ roller (8-24' mounting height) ⁴	SVG - Satir
1320540	Construction	Floetnicol	 LSI's AirLink[™] wireless control system 			Stand-Alone Controls EXT - 0-10V Dimming leads extended to	to housing exterior		
678291R2WHT 673433R2 687462R2 744333 752172R2	 Construction Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath. Designed to mount to square poles. 	 Electrical High-performance programmable driver features over-voltage, under-voltage, short- circuit and over temperature protection. Custom lumen and wattage packages available. 	options reduce energy and maintenance costs while optimizing light quality 24/7. (see page 5 for more details. Installation			CR7P - 7 Pin Control Receptacle ANSI C IMSBT1- Integral Bluetooth™ Motion an IMSBT2- Integral Bluetooth Motion and Button Type Photocells PCI120 - 120V PCI208-277 - 208 - 277V	C136.41 ⁶ Ind Photocell Sensor m	ax 8-24' mounting height ⁴⁵ : 25-40' mounting height ⁴⁵	
	 Fixtures are finished with LSI's DuraGrip° 	 0-10V dimming (10% - 100%) standard. 	 A single fastener secures the hinged door, underneath the housing and provides 	Accessories C) Drdoring Info	PCI347 - 347V			
	polyester powder coat finishing process. The DuraGrip finish withstands extreme	 Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage 	quick & easy access to the electrical compartment.	Controls Access		rmation		Mounting Accessorie	009
ctory. Values are within industry	weather changes without cracking or peeling. Other standard LSI finishes	(347-480 Vac). • L80 Calculated Life: >100k Hours (See	 Included terminal block accepts up to 12 ga. 	Description	301163	Orr	der Number	Description	60
K color temperature.	available. Consult factory.	Lumen Maintenance on Page 3)	wire. • Utilizes LSI's traditional 3" drill pattern B3	PC120 Photocell for use	e with CR7P option (12)		122514	Round Pole Adapter (3' Round/	/Tapered Poles)
	 Shipping weight: 30 lbs in carton. 	 Total harmonic distortion: <20% Operating temperature: -40°C to +50°C 	for easy fastening of LSI products.	PC208-277 Photocell fo			122515	Round Pole Adapter (4" Round	
	Optical System	(-40°F to +122°F). 42L and 48L lumen	Warranty	Twist Lock Photocell (3-	47V) for use with CR7P	8	122516	Round Pole Adapter (5' Round	Poles)
	 State-of-the-Art one piece silicone optic sheet delivers industry leading optical 	packages rated to +40°C. • Power factor: >.90	 LSI LED Fixtures carry a 5-year warranty. 	Twist Lock Photocell (4	,	8	1225180	Universal Mounting Bracket	
	control with an integrated gasket to provide		Listings	AirLink 5 Pin Twist Lock AirLink 7 Pin Twist Lock			661409 661410	Adjustable Slip Fitter (2" - 2 3/8 Quick Mount Pole Bracket (Squ	,
	IP66 rated sealed optical chamber in 1 component.	 Field replaceable 10kV surge protection device meets a minimum Category C Low 	 Listed to UL 1598 and UL 8750. Meets Buy American Act requirements. 	PMOS24-24V Pole-Mou		r (24V) ^{9,10}	663284CLR	Quick Mount Pole Bracket (4-5"	
	 Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES 	operation (per ANSI/IEEE C62.41.2). • High-efficacy LEDs mounted to metal-core	 IDA compliant; with 3000K color 	Shorting Cap for use wi	ith CR7P 8		149328	15 Tilt Quick Mount Pole Brack	et (Square Pole)
	Types 2, 3, 5W, FT, FTA and AM.	circuit board to maximize heat dissipation	temperature selection. Title 24 Compliant; see local ordinance for 	Fusing Accesso	pries ¹¹			15 Tilt Quick Mount Pole Bracket ((4-5" Round Pole)
	 Silicone optical material does not yellow or crack with age and provides a typical light 	 Components are fully encased in potting material for moisture resistance. Driver 	qualification information.	Description		Ord	der Number	Wall Mount Bracket	Pala Diamatan)
	transmittance of 93%.	complies with FCC standards. Driver and	 Suitable for wet Locations. IP66 rated Luminaire per IEC 60598. 	Single Fusing (120V)			FK120	Wood Pole Bracket (6" Minimum F	
	 Zero uplight. Available in 5000K, 4000K, and 3000K 	key electronic components can easily be accessed.	 3G rated for ANSI C136.31 high vibration 	Single Fusing (120V)			FK277	Shielding & Miscella	aneous Acc
	color temperatures per ANSI C78.377. Also	Controls	applications IP66 rated Luminaire per IEC 60598. 	Double Fusing (208V, 2-	40V)		DFK240	Description	
	Available in Phosphor Converted Amber	Optional integral passive infrared	 3G rated for ANSI C136.31 high vibration 	Double Fusing (480V)			DFK480	IH - Integral Louver/Shield ²	
	with Peak intensity at 610nm.Minimum CRI of 70.	Bluetooth™ motion and photocell	applications are qualified.	Double Fusing (347V)			DFK347	IL - Integral Houseside Shield ²	
	 Integral louver (IL) and house-side shield (IH) options available for improved backlight control without sacrificing street side performance. See page 5 for more details. 	sensor (see page 5 for more details). Fixtures operate independently and can be commissioned via iOS or Android configuration app.		standard tolerand 2. Not available on ' 3. Consult Factory f 4. Not available in H	ces but not DLC list "Type 5W" distribu for Site Layout IV. nfigurable via the L		-	10° Linear Bird Spike Kit (6° Red 6. Control device or short Information. 7. Accessories are shipper 8. Factory installed CR7P 9. "CLR" denotes finish. Si 10. Only available with ALS 11. Fusing must be located 12. Only available in 9L and	ting cap must d separately a option requir ee Finish opti SC/ALSCH co d in hand hole
Page 2/5 Rev. 12/23/20 SPEC.1019.B.1220	LSI Industries Inc. 10000 Alliance Rd. Cincini (513) 372-3200 • ©2020 LSI Industries Inc. A	nati, OH 45242 • www.lsicorp.com Il Rights Reserved. Specifications subject to change witho	Page 1/9 Rev. 12/18/20 ut notice. SPEC.1023.A.0420			Alliance Rd. Cincinnati, OH 452 LSI Industries Inc. All Rights Res			ithout notic

Project :

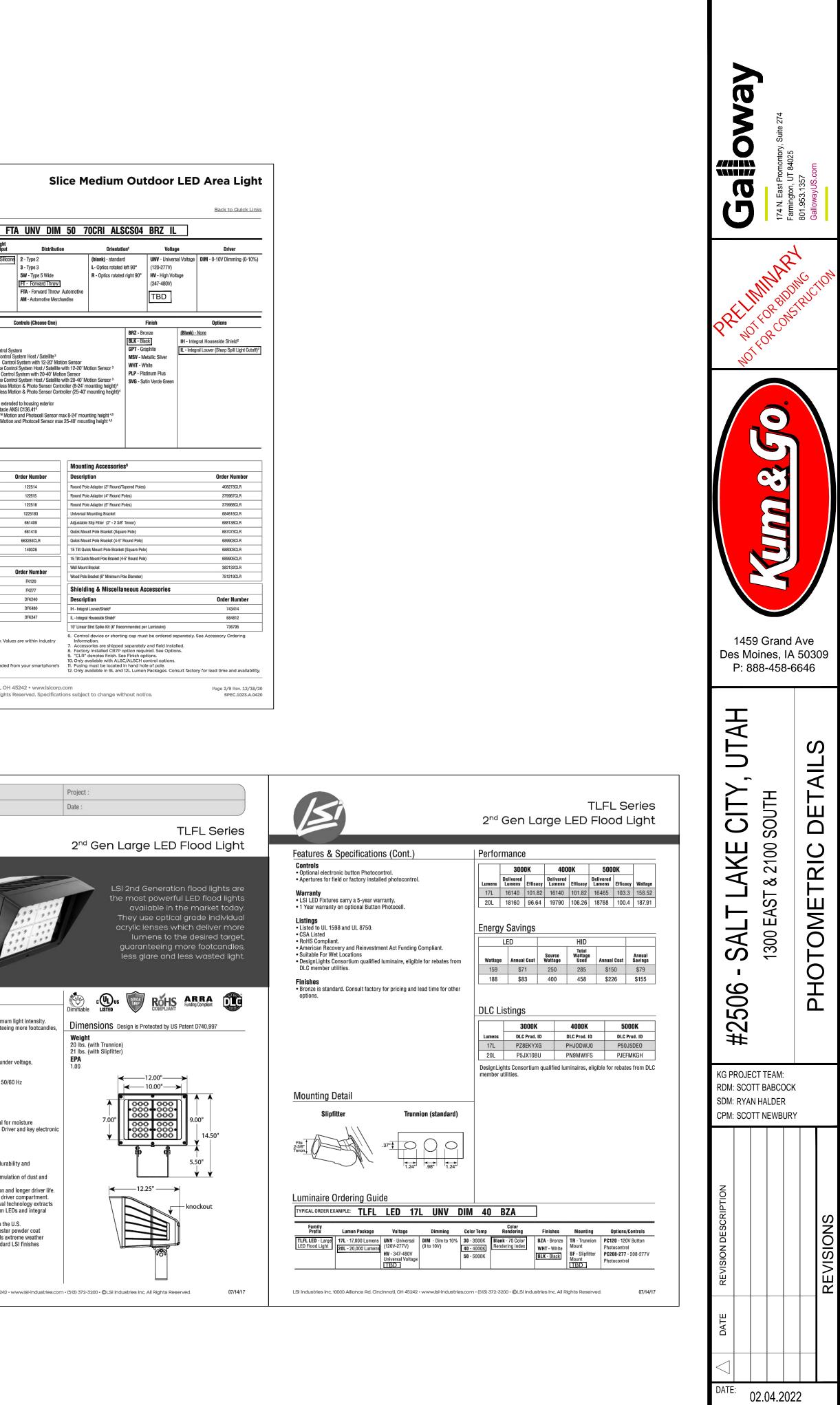
Weight 20 lbs. (with Trunnion)

21 lbs. (with Slipfitter)

EPA 1.00

Date :

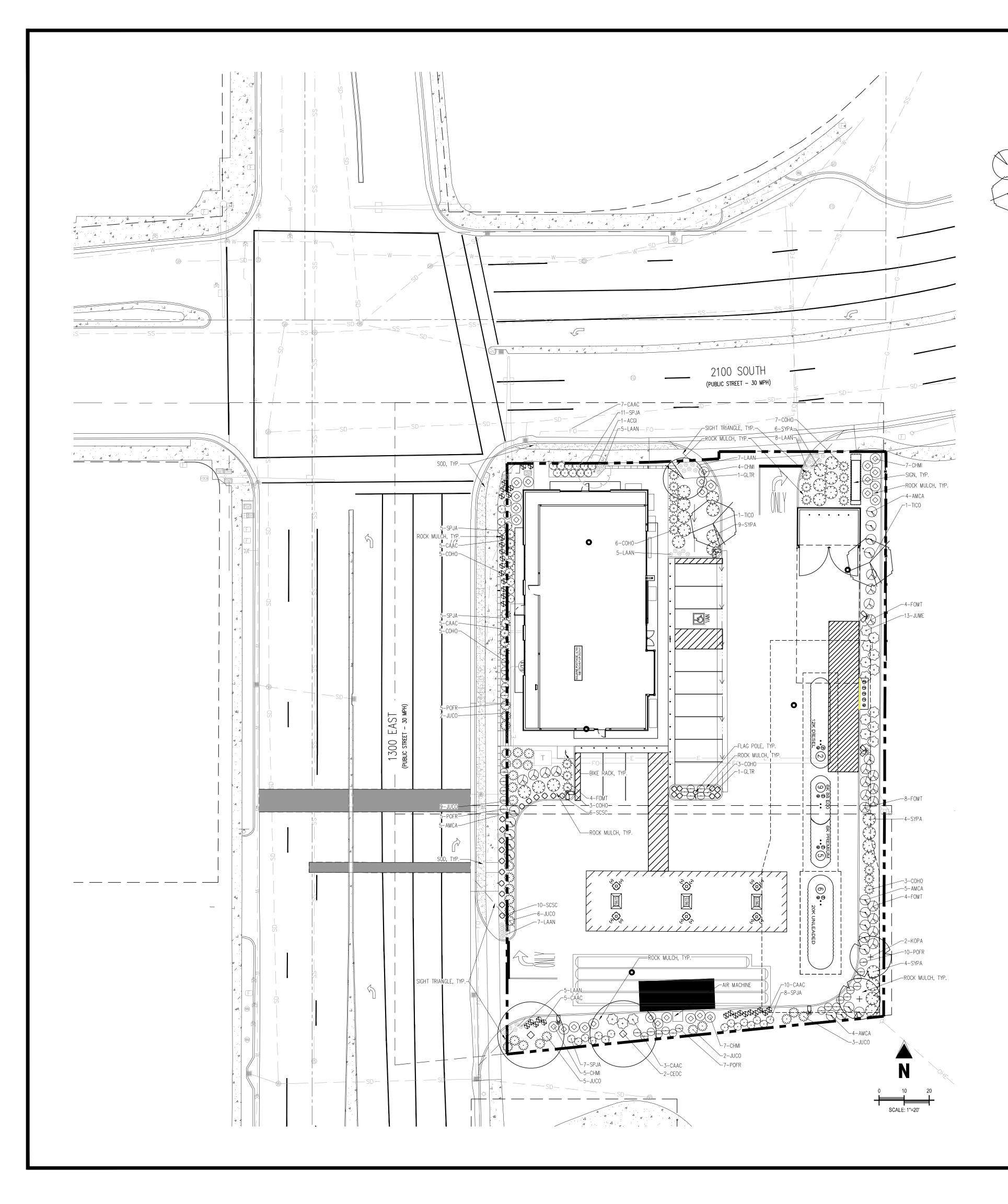
	RECESSEI		NR52609	Catalog # : C Prepared By :
/F MVOLT DDBTXD	LED 6" lensed 2000 lumens	۵۲۵ R0. Ø 6 %* Maximum ceiling	hitectural series	
I mounting bracket Hy -mounted back box ³ in surface-mounted back box ^{8,4} is <u>krequitred</u>) XD Dark bronze XD Dark bronze XD Natural aluminum XD White CO Sandstone TXD Textured dark bronze BXD Textured dark bronze BXD Textured hack TXD Textured natural aluminum KGXD Textured white	 frame-in kit This fixture offered in 120V (1) or 277V (2), and in 347V (3) using a step down transformer. Also available in 220V (4) and 240V (5). Universal mounting brackets provide tool-less adjustability and will accept the supplied hanger bars or optional #517 and #520 Caddy bars. Also accepts C channel. Electrogalvanized plated steel hanger bars are included as factory standard. Bars extend to 24" and offer self-nalling and additional mounting features. 5-year LED component warranty details at atlantic-lighting.com/support. 		Ordering data FRAME-IN KIT SERIES Architectural 6" LED Lensed LUMENS 2000 lumen module COLOR TEMPERATURE 4000K VOLTAGE 120-277V DIMMING 0-10V DC	Features & Specifications
IXD Textured sandstone	White lens when off Superior quality white LED light 80+ CRI Rated Life: 50,000 hours at 70% lumen maintenance (L70) when maintained in a 45°C ambient environment with open air flow. Ambient temperatures lower than 45°C may extend life of module.	TRIM KIT	OPTIONS	Optical System • LSI flood lights utilize individual lenses for maximum light intensity. • Lenses are made of optical grade acrylic guaranteeing more footcandles, less glare and less wasted light. • Minimum CRI of 70 Electrical • High-performance driver features over-voltage, under voltage, short-circuit and over temperature protection. • O-10 volt dimming (10% - 100%) standard.
cy options, PE or PER options. ifth standalone or networked to 40°C. an accessory. actified with PER, PERS or PER7	OSRAM Sylvania Electronic LED Driver Dimmable, instant 100% light (1%-100%) via: 0-10V protocol. See driver spec. Passive Heat Sink Black anodized aluminum Designed for maximum heat dissipation Fil This LED fixture is intended for non-IC or	prismatic lens	TRIM KIT Frosted Lens	Standard Universal Voltage (120-277 Vac) Input 50/60 Hz L70 Calculated Life: >100k Hours Total harmonic distortion: <20% Power factor: >.85 Input power stays constant over life. Driver Off-State Power is 0 watts. Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed. Minimum 2.5kV surge rating
thetics of the product. IFPA 70/NEC 2008 - 700.16 Itonal Building Code Section 1006	enclosures. sp Listed for Wet Location under covered wh ceiling. Tested and Listed by ETL to UL1598 Op	ecision spun .052 aluminum reflector with a ecular clear finish. The self-flanged splay has a nite painted trim flange and includes safety chain. titonal polished flange will match the splay finish ot available on baffled splay).		 Construction Rigid Precision Die cast-aluminum housing for durability and consistency. Vertical fins serve as a heat sink and resist accumulation of dust and debris. Separate driver compartment for cooler operation and longer driver life. Removable back panel offers easy access to the driver compartment. The Patent Pending thermal stacking heat removal technology extracts heat from within the housing moving it away from LEDs and integral components.
DLT E20WH	Specifications and dimensions subject to change without notice.	08 678-5408 www.atlantic-lighting		 Luminaire is proudly manufactured and tested in the U.S. Fixtures are finished with LSI's DuraGrip@ polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory
Rev. 11/02/20	LIGHTING T: 508 678-5411 F: 5	00 07 0-0400 www.attantic-ngnting	101415 NP14-002	LSI industries inc. 10000 Alliance Rd. Cincinnati, OH 45242 • www.isi-industries.com



CRITERIA PLAN 04/2020

SHEET NUMBER:

PP1.1



QTY	LEGENI ABBREV) /- BOTANIC NAME	COMMON NAME	PLANTING SIZE (MINIMUM)	MATURE SIZE		SUN/SHADE	PLANT S AT MATUR
DECIDI	UOUS TF	REES						
2	CEOC	CELTIS OCCIDENTALIS	COMMON HACKBERRY	2" CAL. B&B	60'X40'	L	SUN/PART SHADE	
1	GLTR	GLEDITSIA TRIACANTHOS INERMIS 'IMPERIAL'	IMPERIAL HONEYLOCUST	2" CAL. B&B	35'X25'	L	SUN	
2	КОРА	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	2" CAL. B&B	30'X25'	L	SUN	
2	TICO	TILIA CORDATA	LITTLELEAF LINDEN	2" CAL. B&B	40'X30'	М	SUN/PART SHADE	
ORNAN	IENTAL .	TREES						
1	ACGI	ACER GINNALA 'FLAME'	FLAME GINNALA MAPLE	1.5" CAL. B&B	20'X20'	L/M	SUN/PART SHADE	
DECIDI	UOUS SH	IRUBS						
18	AMCA	AMORPHA CANESCENS	LEADPLANT	#5 CONT. 18-24"	4'X4'	VL	SUN	226.26
27	СНМІ	CHAMAEBATIARA MILLEFOLIUM	FERNBUSH	#5 CONT. 18-24"	4'X4'	VL	SUN	339.39
20	FOMT	FOTHERGILLA 'MT. AIRY'	DWARF FOTHERGILLA	#5 CONT. 18-24"	5'X4'	М	SUN/PART SHADE	251.4
33	POFR	POTENTILLA FRUTICOSA 'TANGERINE'	TANGERINE POTENTILLA	#5 CONT. 18-24"	2'X3'	L/M	SUN/PART SHADE	232.98
35	SPJA	SPIREA JAPONICA 'NEON FLASH'	NEON FLASH SPIREA	#5 CONT. 18-24"	3'X3'	L/M	SUN	247.1
26	SYPA	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	#5 CONT. 18-24"	5'X5'	VL	SUN/PART SHADE	510.3
EVERG	REEN S	HRUBS						
29	соно	COTONEASTER HORIZONTALIS	ROCK COTONEASTER	#5 CONT. 18-24"	2'X4'	М	SUN/PART SHADE	364.5
28	JUCO	JUNIPERUS COMMUNIS 'MONDAP'	ALPINE CARPET JUNIPER	#5 CONT. 18-24"	8"X4'	L	SUN/PART SHADE	351.96
16	JUME	JUNIPERUS X MEDIA 'OLD GOLD'	OLD GOLD JUNIPER	#5 CONT. 18-24"	3'X4'	VL	SUN/PART SHADE	201.12
		GRASSES						
32	CAAC	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 CONT.	5'X2'	L	SUN	100.4
24	scsc	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	#1 CONT.	3'X2'	VL	SUN	75.36
PEREN	INIALS							
37	LAAN	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD'	ENGLISH LAVENDER	#1 CONT.	18"X18"	VL	SUN	65.49

SOD					
780 SF	FESCUE SOD	RTF (RHIZOMATOUS TALL FESCUE)	SOD	М	
5,340 SF	ROCK COBBLE MULCH	2"-4" ROCK COBBLE MULCH WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL, SEE PLANTING NOTES & DETAILS	MULCH	N/A	
AS NEEDED	WOOD MULCH	DARK BROWN SHREDDED HARDWOOD MULCH	MULCH	N/A	

LANDSCAPE CALCULATIONS

LANDSCAPE CALCULATIO	INS			
AREAS OF REQUIRED LANDSCAPING	AREA	FORMULA	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED
TOTAL REQUIRED LANDSCAPE AREA	34,649 SF	15% OF TOTAL SITE AREA (34,649) SF TOTAL SITE)	4,898 SF REQUIRED	6,485 SF PROVIDED
REQUIRED INTERIOR TREES	4,898 SF	1 TREE PER 2000 SF OF REQUIRED INTERIOR LANDSCAPING	3 TREES	4 TREES
REQUIRED PARKING LOT TREES	4,898 SF	1 TREE PER '7' PARKING STALLS OF INTERIOR PARKING	2 TREES	3 TREES
			TOTAL TREES REQUIRED: 5	TOTAL TREES PROVIDED: 7
LANDSCAPE COVERAGE	CALCULA	TIONS		
AREAS OF REQUIRED LANDSCAPING	AREA	FORMULA	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED
LANDSCAPE AREA COVERAGE ON-SITE	4,898 SF	50% OF LANDCSAPE AREA	2,449 SF REQUIRED	2,967 SF PROVIDED (60.5%)
LANDSCAPE AREA	780 SF	50% OF LANDSCAPE AREA	390 SF REQUIRED	780 SF PROVIDED (100% SODDED)

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CAUTION UTILITIES EXIST WITHIN CONSTRUCTION LIMITS. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THEIR LOCATION PRIOR TO CONSTRUCTION.

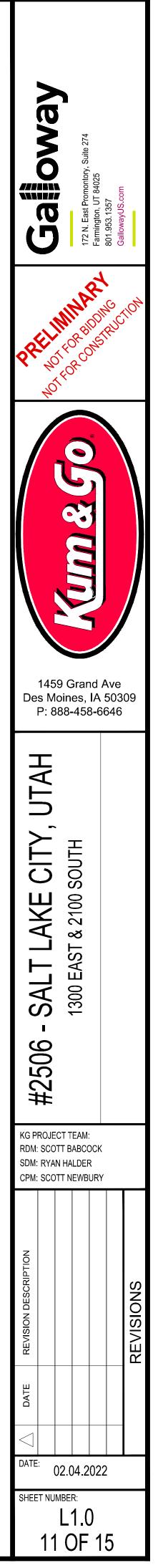
UTILITY NOTES

1. THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION. 2. THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT

3. THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HEREIN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

TOTAL AREA SHRUB AND GRASSES COVERAGE = 2,967 S.F.

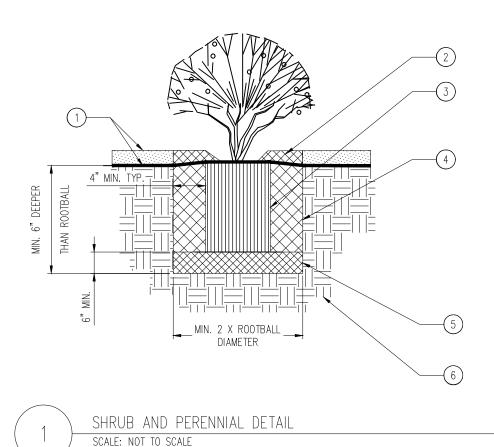
EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.



PLANTING NOTES

GENERAL 1. ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.

- 2. LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.
- CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. THIS DRAWING IS PART OF A COMPLETE SET OF CONTRACT DOCUMENTS. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS.
- 4. ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.
- 5. THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
- 6. LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
- 7. ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF.
- 8. FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN. SEE PHOTOMETRIC PLAN FOR FREE STANDING LIGHTING INFORMATION.
- 9. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
- 10. WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
- 11. ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL, BE IN ACCORDANCE WITH INDUSTRY STANDARDS IN THE STATE OF UTAH.
- 12. LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.
- FINISH GRADING AND SOIL PREPARATION 13. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT. AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
- 14. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
- 15. THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE THE OWNER/OWNER'S REPRESENTATIVE CONSIDERATION.
- 16. AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 5.0 CUBIC YARDS AND AMMONIUM PHOSPHATE 16-20-0 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING. GROUND COVER & PERENNIAL BED AREAS SHALL BE AMENDED AT A RATE OF 8 CUBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12-12-12
 - CAUTION UTILITIES EXIST WITHIN CONSTRUCTION LIMITS. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THEIR LOCATION PRIOR TO CONSTRUCTION.
- UTILITY NOTES
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- EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
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- (1) FINISH GRADE. SEE PLANTING PLAN FOR GROUND COVER TREATMENT
- (2) SHREDDED BARK MULCH, 3" MIN. DEPTH, ROUGHLY THE EXTENTS OF ROOTBALL
- (3) PLANT ROOT BALL. SET TOP ROOTBALL 2" ABOVE ADJECENT GRADE. IN BERMED AREAS SET ROOTBALL 2" ABOVE LOWER ADJECENT GRADE - INSTALL WATER RING (2 - 3"HT.)
- (4) BACKFILL MIX (PER PLANTING SPECIFICATIONS). AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS, JET BACKFILL WITH WATER TO ELIMINATE VOIDS.
- (5) COMPACTED BACKFILL MIX (75%).
- (6) UNDISTURBED NATIVE SOIL.

FOR ORGANIC AMENDMENTS.

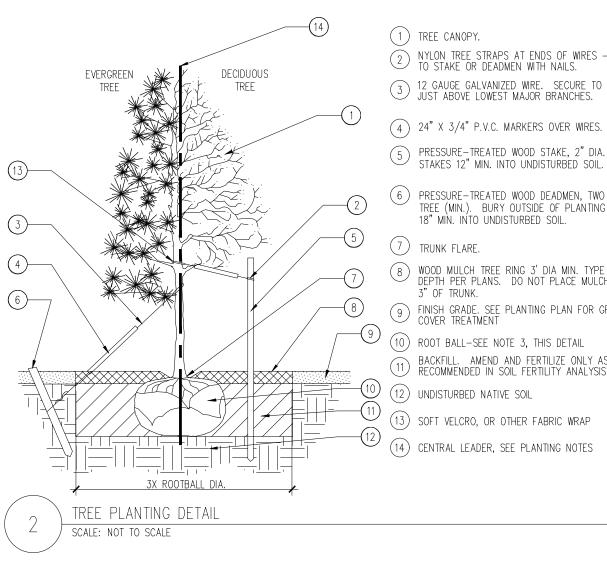
17. ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS/ALL EVERGREENS SHALL BE UNSHEARED AND FULL TO THE GROUND; UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.

PLANTING

- 18. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEFMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
- 19. ALL TREES SHALL BE GUYED AND WOOD STAKED AS PER DETAILS. NO 'T-STAKES' SHALL BE USED FOR TREES.
- 20. ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK". FOLLOW GREENCO TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR TREES.
- 21. ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 22. ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD.

23. ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL.

- 24. ALL PLANT BEDS SHALL BE CONTAINED WITH STEEL EDGER. STEEL EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. ALL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6-INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS. COLOR: BLACK.
- 25. THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNEE SHALL BE RESPONSIBLE FOR ESTABLISHING AND CONTINUING A REGULAR PROGRAM OF MAINTENANCE FOR ALL LANDSCAPED AREAS. SEE LANDSCAPE GUARANTEE AND MAINTENANCE NOTE.
- 26. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS. 27. LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPING MATERIALS TO THE LANDSCAPE ARCHITECTS AND OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, IE.; MULCH, EDGER, LANDSCAPE FABRIC, ETC.
- MULCHING 28. AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF MULCH AS SPECIFIED IN THE PLANTING LEGEND. INSTALL A 4" THICK RING OF DOUBLE SHREDDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE CONTAINER SIZE OF THE SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. TREE RING SIZE SHALL BE GREEN INDUSTRIES OF COLORADO INDUSTRY STANDARD WIDTH.
- 29. ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE. 30. INSTALL DEWITT PRO-5 WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY.
- NO LANDSCAPE FABRIC SHALL BE USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED. 31. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.
- 32. ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH, TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED.
- 33. ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE #CT-125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUAL). INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.



FERTILIZER PER CU. YD., ROTOTILLED TO A DEPTH OF 8". NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED

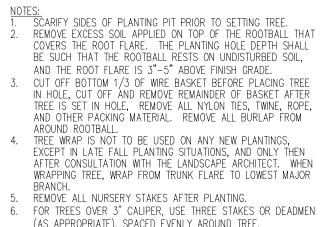
- 1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR. 2. THE IRRIGATION SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE WATER SOURCE IF APPLICABLE.
- 3. ALL NON-TURF/SEED PLANTED AREAS WILL BE DRIP IRRIGATED. TURF SOD/SEED SHALL RECEIVE POP-UP SPRAY IRRIGATION FOR HEAD TO HEAD COVERAGE.
- 4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO
- THAT HYDROZONE.
- 5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND SMART MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

LANDSCAPE GUARANTEE AND MAINTENANCE

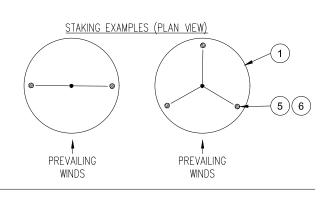
IRRIGATION CONCEPT

- 1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- 2. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID FREEZE DAMAGE ON PLANTINGS, THE <u>90 DAYS</u> SHOULD BEGIN AFTER ACCEPTANCE OF THE WORK.
- 3. DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.

- 2 NYLON TREE STRAPS AT ENDS OF WIRES SECURE TO STAKE OR DEADMEN WITH NAILS.
- 3 12 GAUGE GALVANIZED WIRE. SECURE TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
- 5) PRESSURE-TREATED WOOD STAKE, 2" DIA. EXTEND
- (6) PRESSURE-TREATED WOOD DEADMEN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
- 8 WOOD MULCH TREE RING 3' DIA MIN. TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 9 finish grade. See planting plan for ground cover treatment
- (10) ROOT BALL-SEE NOTE 3, THIS DETAIL
 - BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
 - SOFT VELCRO, OR OTHER FABRIC WRAP
 - (14) CENTRAL LEADER, SEE PLANTING NOTES



(AS APPROPRIATE), SPACED EVENLY AROUND TREE. 7. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.



SHEE	DATE	DATE	REVISION DESCRIPTION	RDM: SDM:		Des	ঽঀ৾৾ঀ	
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5	2					Ave 503	Res Res	801.953.1357 Galloward IS com
			REVISIONS			009	TION	

Proposed Building Signage

Location	Sign	Size	Area
North Elevation	"Kum & Go" Sign	6' x 12'	72 SF
	"Go Fresh Market" Sign	5' x 9'	45 SF
West Elevation	"Kum & Go" Sign	3'-6" x 7'	19 SF
South Elevation	"Kum & Go" Sign	6' x 12'	72 SF
East Elevation	"Kum & Go" Sign	3'-6″x7′	19 SF
	Total		227 SF

Glazing Calculations

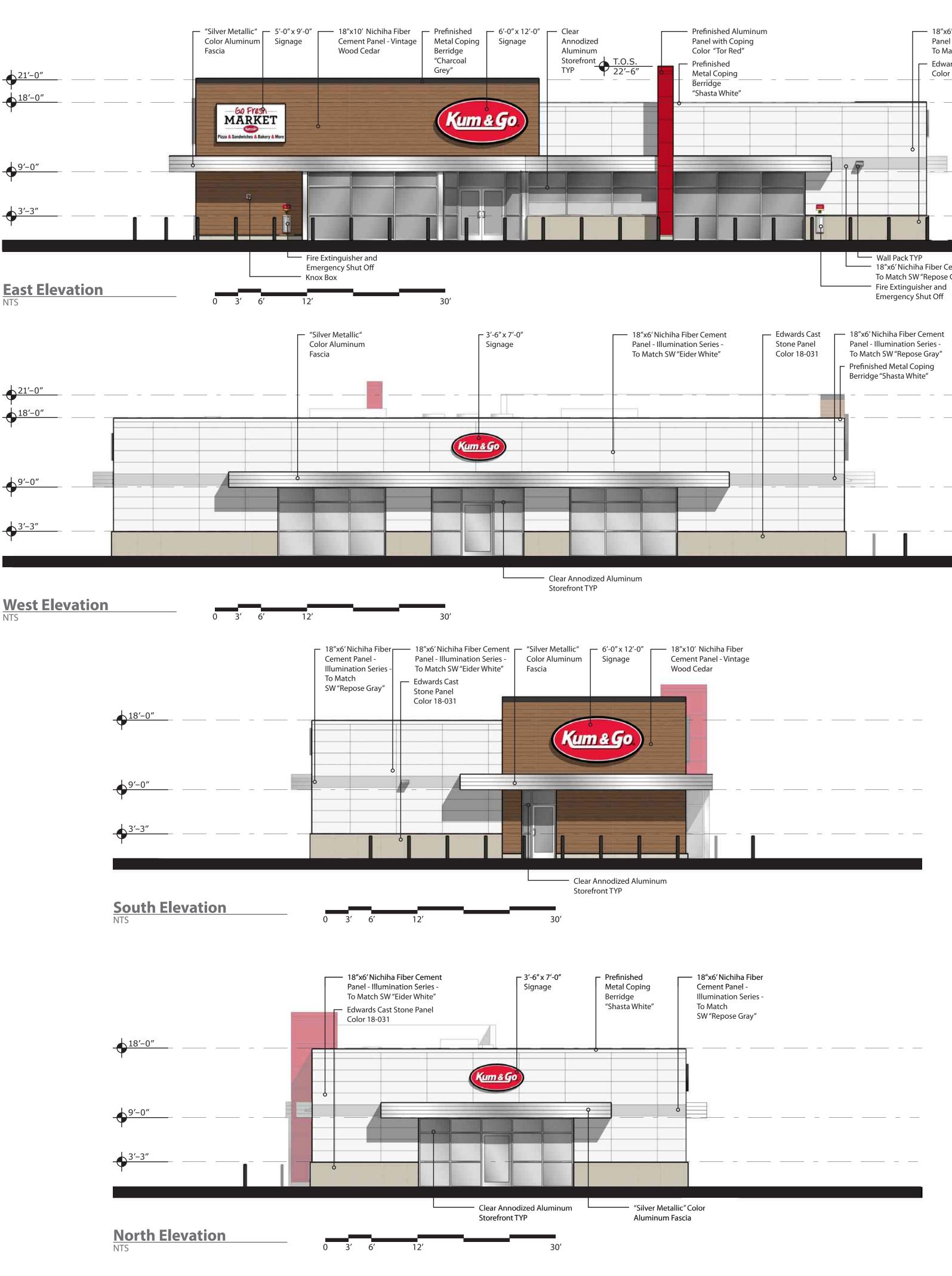
West Elevation Square Feet % of Glazing 200 Glazing Total 480.8

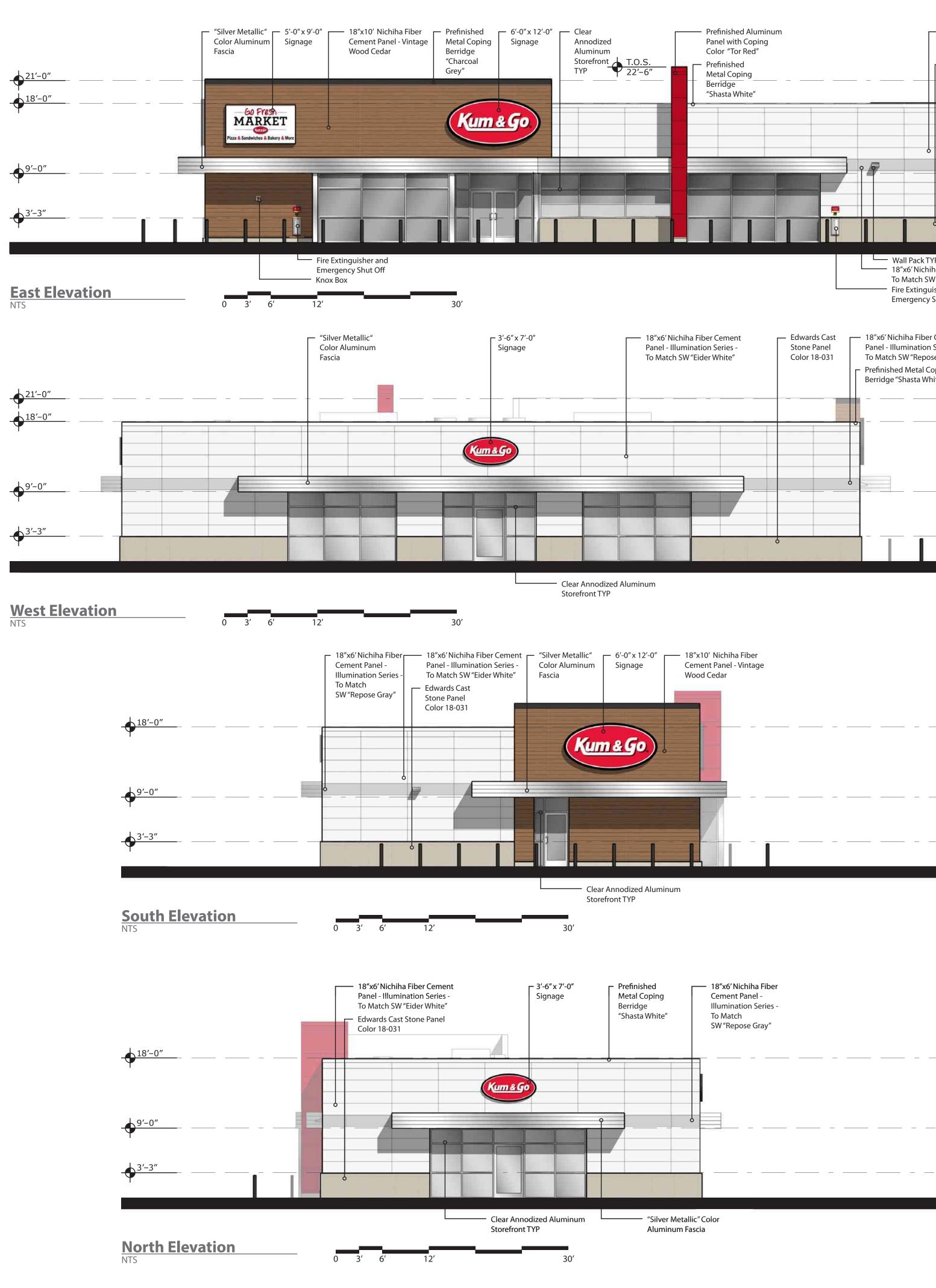
North Elevation

Glazing Total

Square Feet % of Glazing 100 41% 243.75

42%





18"x6' Nichiha Fiber Cement Panel - Illumination Series -To Match SW "Eider White" Edwards Cast Stone Panel Color 18-031

18"x6' Nichiha Fiber Cement Panel - Illumination Series -To Match SW "Repose Gray"

SDM CPM:

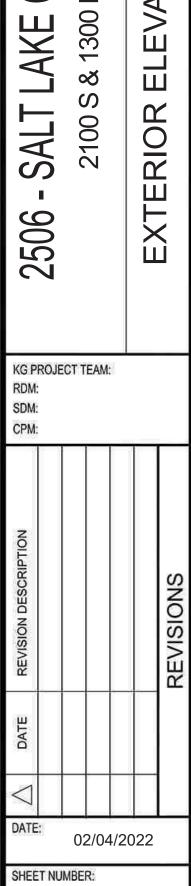
TEL: 913-262-9095 FAX: 913-262-9044 SEAL 0 5 ે 1459 Grand Avenue Des Moines, Iowa 50309 P:515-457-6247 **U** S CITY, ELEVATION Ш 1300 Š S

ARCHITECT OF RECORD:

BRR ARCHITECTURE, INC 8131 METCALF AVENUE

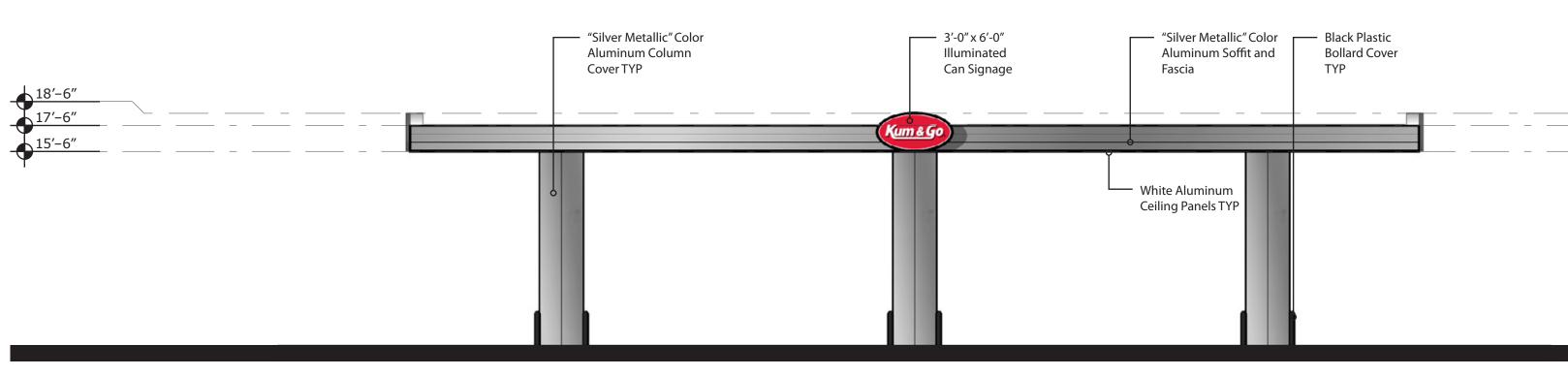
www.brrarch.com

SUITE 300 OVERLAND PARK, KS 66204

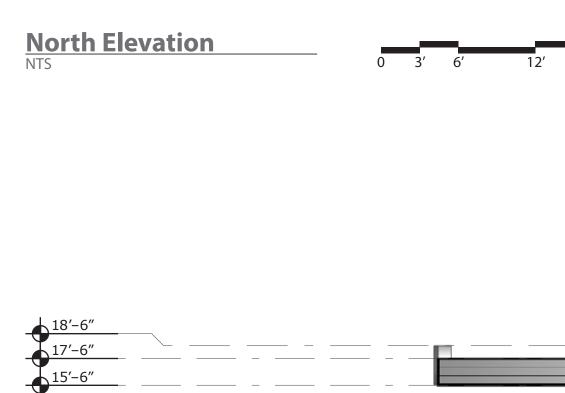


Proposed Canopy Signage

Location	Sign	Size	Area
North Elevation	No Signage		0 SF
South Elevation	"Kum & Go" Sign	3'x 6'	18 SF
East Elevation	No Signage		0 SF
West Elevation	"Kum & Go" Sign	3'x 6'	18 SF
	Total		54 SF



30

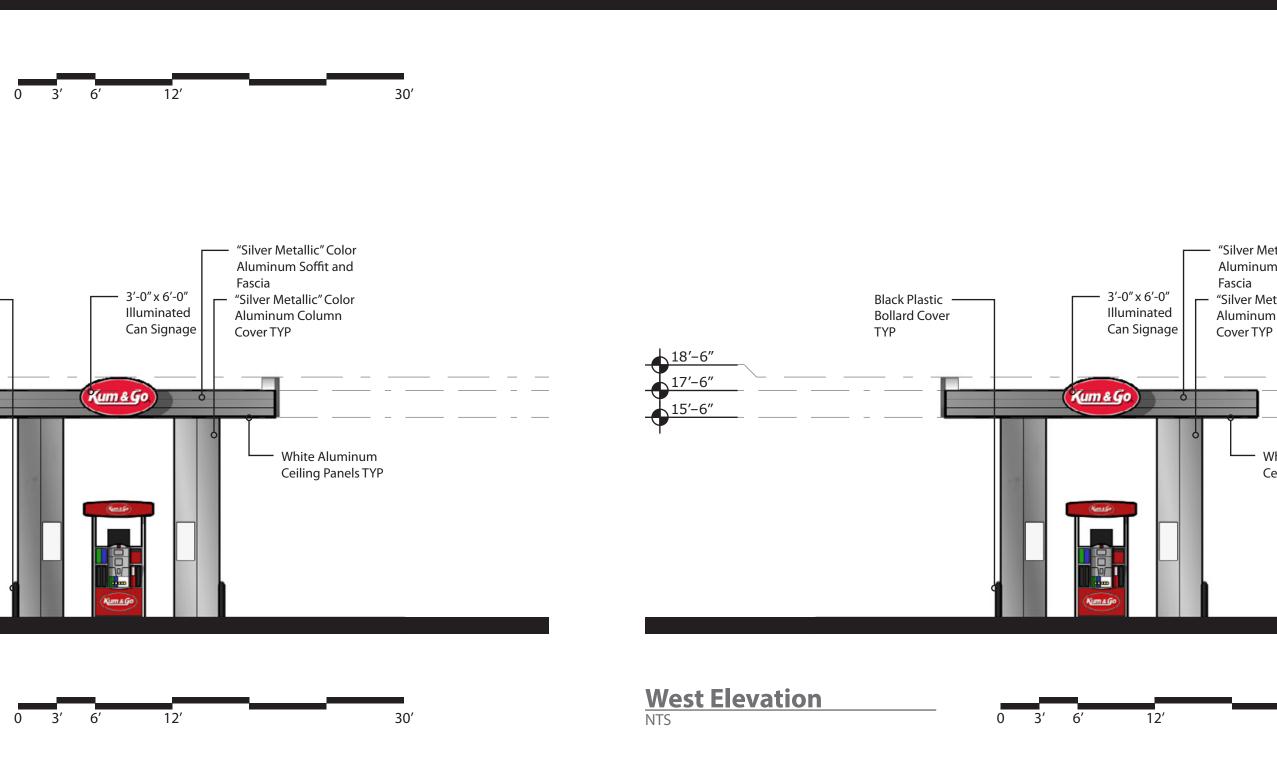


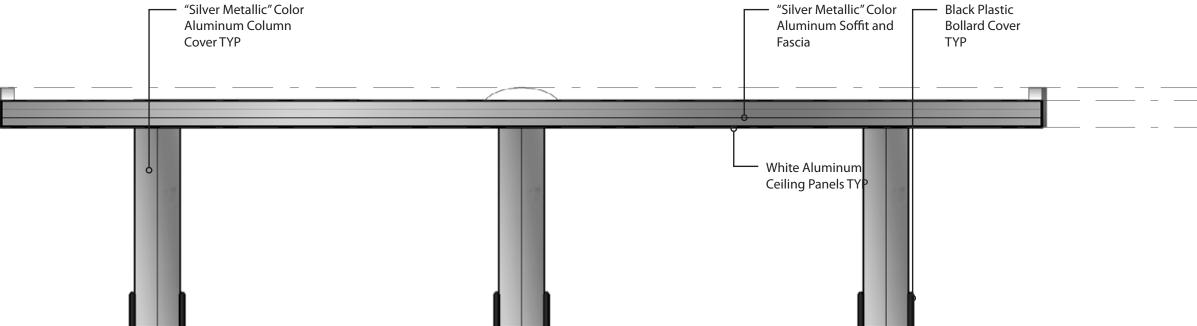
South Elevation

Black Plastic -----Bollard Cover TYP 18'-6" 17'-6" 15'-6" ____ _ _ ___

East Elevation







Toronobe Transmission Barbonic States Barbonic States			
Image: Constraint constraints Image: Constraints		ARCHITECT OF RECOR BRR ARCHITECTURE, INC 8131 METCALF AVENUE SUITE 300 OVERLAND PARK, KS 6620 www.brrarch.com TEL: 913-262-9095	
Level source so		SEAL	
TVP Ketallic*Color inum Soft and TVP Wetallic*Color inum Column TVP White Aluminum Ceiting Panels TVP 30'		Des Moines, I 50309	owa
TYP KG PROJECT TEAM: RDM: SDM: CPM: Vhite Aluminum Ceiling Panels TYP NOU 30' VI	num Soffit and	2506 - SALT LAKE CITY, UT 2100 S & 1300 E	CANOPY ELEVATIONS
White Aluminum Ceiling Panels TYP	num Column	RDM:	
DATE: 02/04/2022 SHEET NUMBER:	- White Aluminum	REVISION DESCRIPTION	REVISIONS
	30'		022
			15

Metal Coping Berridge "Shasta White"

3′

6

7'-0"

3'-3"

South Elevation 0 7'-0" 3'-3" _____ _ _ _ _

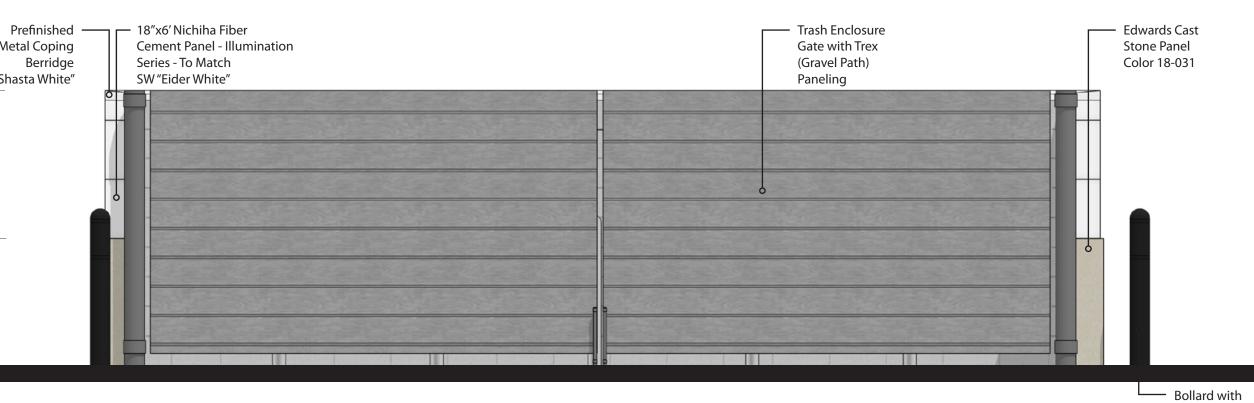
North Elevation

18"x6' Nichiha Fiber Cement Edwards Cast Panel - Illumination Series -Stone PanelTo Match SW "Eider White"Color 18-031 3'-3"

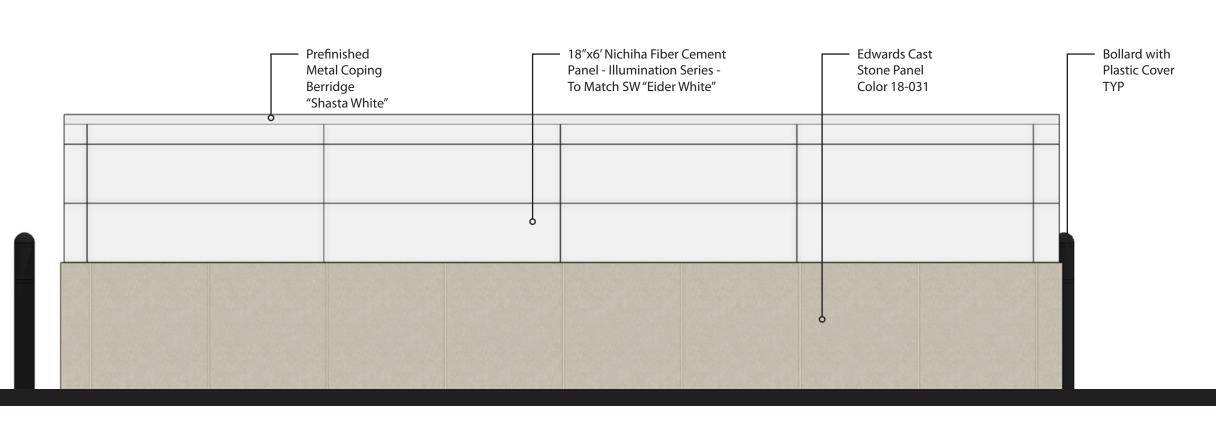
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West Elevation

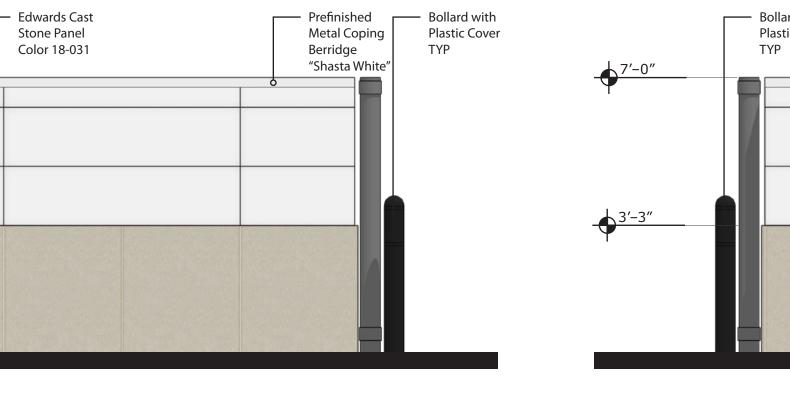
Perspective



Plastic Cover TYP







12

7'-0"	ard with tic Cover	—— 18″x6′ Nichiha Fi Panel - Illuminat To Match SW "Eid	ion Series -	Edwards Cast Stone Panel Color 18-031
3'-3"	0	,		
				5

East Elevation

